



Project 65 troy rd

Energy Code: 2021 IECC
Location: Millburn, New Jersey
Construction Type: Single-family Addition
Project Type: Addition
Climate Zone: 4 (5894 HDD)
Permit Date:
Permit Number:

Construction Site: 65 troy rd Millburn, nj 07041
Owner/Agent: Mansoor Adza Danon group
Designer/Contractor: Mansoor Adza Danon group 1218 warren way Wanaguc, nj 07465 971230039 danongroup@AOL.com

Compliance: Passes using UA trade-off

Compliance: 0.5% Better Than Code
Maximum UA: 182
Your UA: 181
Maximum SHGC: 0.40
Your SHGC: 0.40

Slab-on-grade tradeoffs are no longer considered in the UA or performance compliance path in REScheck. Each slab-on-grade assembly in the specified climate zone must meet the minimum energy code insulation R-value and depth requirements.

Envelope Assemblies

Table with 8 columns: Assembly, Gross Area or Perimeter, Cavity R-Value, Cont. R-Value, Prop. U-Factor, Req. U-Factor, Prop. UA, Req. UA. Rows include Ceiling 1: Flat Ceiling or Scissor Truss, Wall 1: Wood Frame, 16' o.c., Door: 3'0" X 6'8"-Glazed LE Copy: Glass Door (over 50% glazing) SHGC: 0.40, Window: 3'0" X 5'0" LE Copy: Wood Frame SHGC: 0.40, Wall 2: Wood Frame, 16' o.c., Window: 3'0" X 5'0" LE: Wood Frame SHGC: 0.40, Floor 1: All-Wood Joist/Truss, Over Unconditioned Space, Floor 2: All-Wood Joist/Truss, Over Outside Air.

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Data filename:
Report date: 05/29/23
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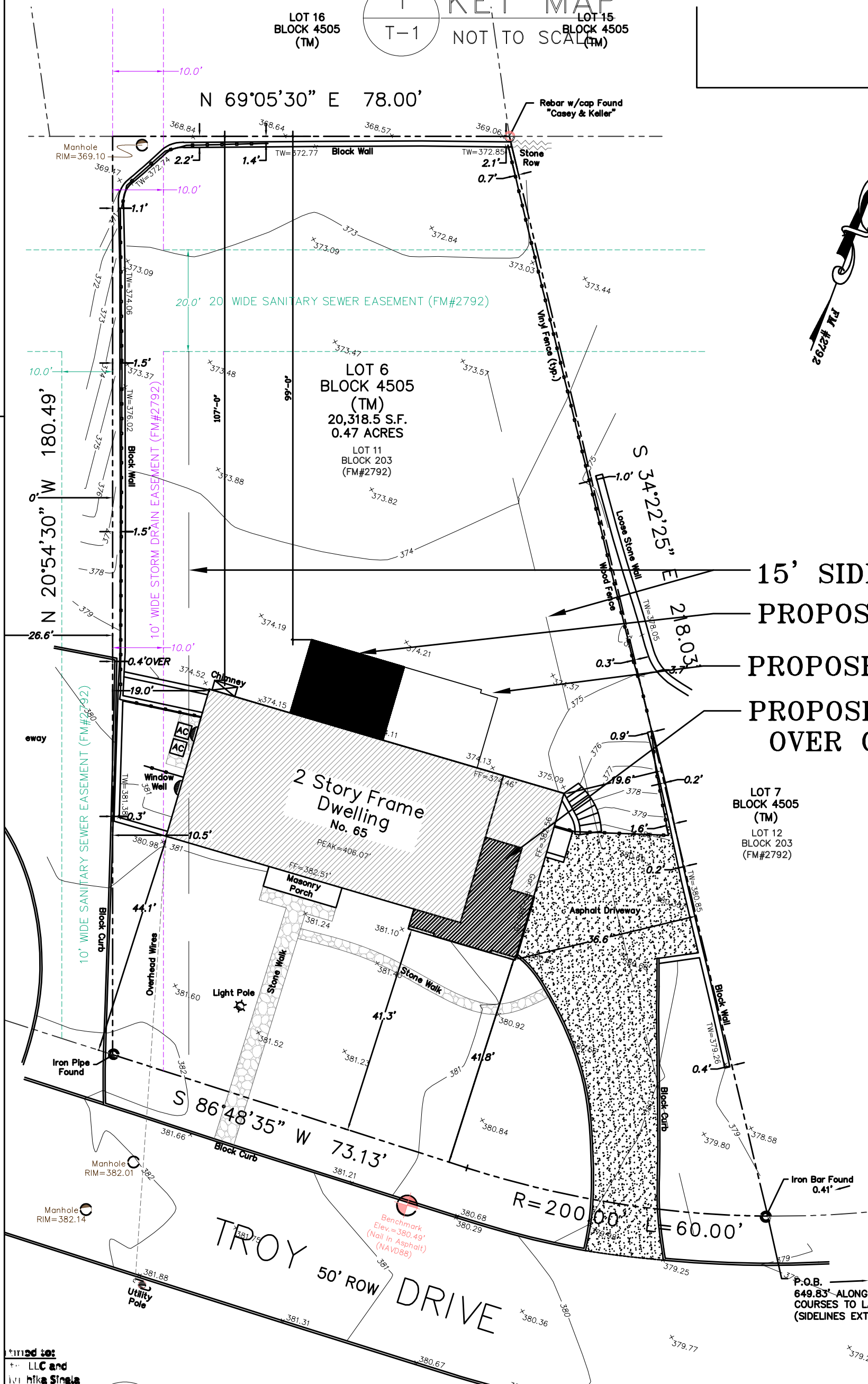
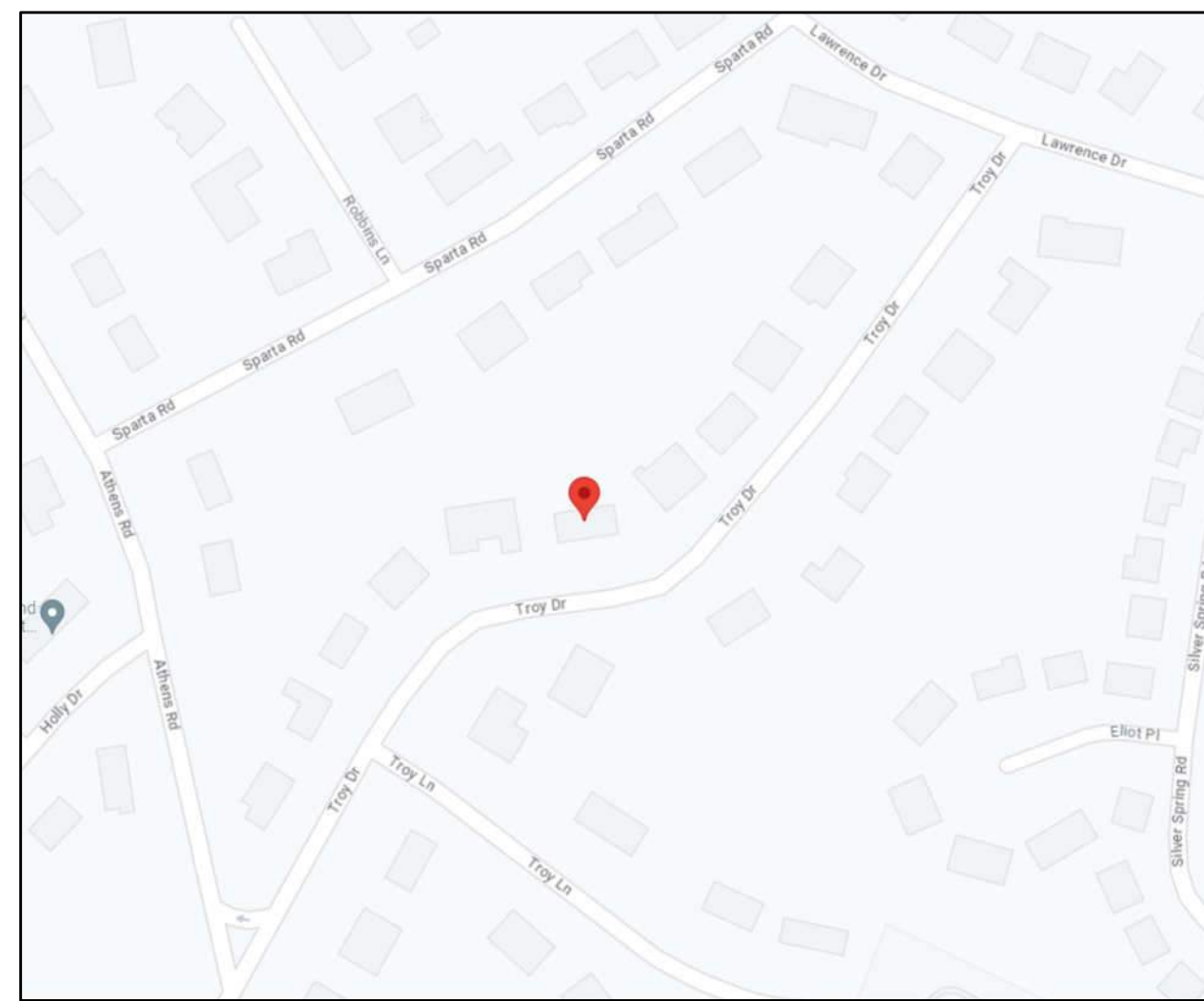
Additional Efficiency Package(s)
Not applicable

Compliance Statement: The proposed building design described here is consistent with the building plans, specifications, and other calculations submitted with the permit application. The proposed building has been designed to meet the 2021 IECC requirements in REScheck Version : REScheck-Web and to comply with the mandatory requirements listed in the REScheck Inspection Checklist.

Name - Title Signature Date

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PROPOSED ADDITION AND ALTERATION
EXISTING SINGLE FAMILY HOUSE
65 TROY ROAD, LOT#6, BLOCK 4505,
MILLBURN TOWNSHIP, ESSEX COUNTY, NJ, 07041



NOTE: ALL DATA AS PER SURVEY PLAN PREPARED BY LAKELAND SURVEYING 05/17/2023

SYMBOLS & MATERIALS

- EXIST. CONC. BLOCK WALL
NEW CONC. BLOCK WALL
FULL HEIGHT PARTITION
NEW FULL HEIGHT PARTITION
EXIST. WALLS TO BE REMOVED
INTERIOR ELEVATION ARROW (SEE DETAIL NO./DWG/NO.)
SECTION ARROW (SEE DETAIL NO./DWG/NO.)
DETAIL (SEE CORRESPONDING SHEET)
SPECIFICATION ITEM (SEE EQUIPMENT SCHEDULE)

DRAWING LIST

- T-1 COVER SHEET.
A-1 FINISHED BASEMENT.
A-2 FIRST FLOOR PLAN.
A-3 SECOND FLOOR PLAN, ROOF PLAN.
A-4 FRONT, RIGHT SIDE ELEVATIONS.
A-5 REAR AND LEFT SIDE ELEVATION.
A-6 ELECTRIC PLANS, PLUMBING & GAS RISERS DIAGRAMS.
A-7 EXISTING PLANS.
D-1 GENERAL DETAILS.

DESIGN LOADS

- LIVE LOADS - ROOFS
SNOW LOAD AT SHELTERED ROOF = 50 PSF
SNOW LOAD AT SLOPED ROOFS = 30 PSF EXCEPT AS NOTED
LIVE LOADS - FLOORS
ALL AREAS NOT OTHERWISE NOTED = 40 PSF
RESIDENTIAL BALCONIES = 60 PSF
BEDROOMS = 40 PSF
WIND LOADS = 25 PSF
EARTH QUAKE LOADS = 5% OF DEAD WEIGHT

ABBREVIATIONS

Table of abbreviations including ACT (Acoustic Tile), A.C. (Air Conditioning), ADJ. (Adjacent), ALUM. (Aluminum), ALUMS. (Aluminum Saddle), < (Angle), APPROX. (Approximate), ARCH. (Architecture), A.D. (Area Drain), AT (At), B.M. (Beam), B.E.T. (Between), B.P.S. (Bent Plate), B.L.K. (Block), B.S.A. (Board of Standards & Appeals), BOT. (Bottom), B.O.C. (Bottom of Curb), BLDG. (Building), CAP. (Capacity), CLNG. (Ceiling), CEM. (Cement), C.L. (Center Line), C.T. (Ceramic Tile), CL. (Closet), CND. (Column), CON. (Concrete), C.B. (Concrete Block), COND. (Conduit), CONST. (Construction), CONT. (Continuous), CONTR. (Contractor), CONV. (Convector), C.G. (Corner Guard), DET. (Detail), DIA. (Diameter), DIM. (Dimension), DN. (Down), DWG. (Drawing), EA. (Each), ELEC. (Electric), EL. (Elevation), ENCL. (Enclosure), ED. (Edual), EQUIP. (Equipment), EST. (Established), EXIST. (Existing), EXP.JT. (Expansion Joint), EXT. (Exterior), EXT.GR. (Exterior Grade), EXTR. (Extruded), FIN. (Finish), F.P. (Fire Proof), F.P.S.C. (Fire Proof Self Closing), FL.SHG. (Flashing), FL. (Floor), F.J. (Floor Joists), F.D. (Floor Drain), F.V. (Field Verify), GALL. (Gallon), GA. (Gauge), GL. (Glass), GYP.BD. (Gypsum Board), HDR. (Header), H.V.A.C. (Heating, Ventilating & Air Conditioning), H.P. (High Point), H.M. (Hollow Metal), HR. (Hour), INSUL. (Insulation), INT. (Interior), J.T. (Joint), L.A.V. (Lavatory), L.P. (Low Point), MACH. (Machine), M.S. (Marble Saddle), M.V. (Material), MAX. (Maximum), MECH. (Mechanical), MET. (Metal), MIN. (Minimum), MISC. (Miscellaneous), MULL. (Mullion), M.D. (Masonry Opening), N.T.S. (Not To Scale), ON CENTER, OPENING, OPPOSITE, OVERFLOW DRAIN, P.N. (Panel), P.H. (Paper Holder), PART. (Partition), P.A. (Place of Assembly), PL. (Plate), REF.L. (Reflective), REIN.F. (Reinforced), REIN'D. (Reinforced), R. (Riser), R.D. (Roof Drain), R.M. (Room), S.N.D. (Sanitary Napkin Dispenser), S.N.V. (Material), SECT. (Section), S.M. (Smilar), S.P. (Stand Pipe), STL. (Stand Point), S.T.L.S. (Steel Saddle), STRUC. (Structure), SUSP. (Suspended), SWBD. (Switch Board), SWGR. (Switch Gear), TEL. (Telephone), TK. (Thick), T.O.C. (Top of Concrete), T.O.S. (Top of Steel), T.O.V. (Top of Wall), T.C.A.R. (Towel Cabinet & Receptical), T. (Tread), TYP. (Typical), UN. (Unless Otherwise Noted), VERT. (Vertical), V.I.F. (Verify in Field), V.C. (Water Closet), W.P. (Water Proofing), W.R. (Water Resistant), W. (Width), W/ (With), W/O (Without)

STANDARDS AND GENERAL NOTES

- 1/01/22
CODES, REGULATIONS, PERMITS AND FEES
ALL WORK SHALL CONFORM TO THE CURRENT EDITION OF THE UNIFORM CONSTRUCTION CODE OF THE STATE OF NEW JERSEY INCLUDING ALL SUB CODES AND REFERENCED STANDARDS. UNLESS OTHERWISE INDICATED ALL WORK SHALL CONFORM TO THE REGULATIONS OF LOCAL UTILITY COMPANIES AND MUNICIPAL LAWS AND REGULATIONS. IF THE CONTRACT DOCUMENTS DEViate IN ANY WAY FROM THESE LAWS AND REGULATIONS THE CONTRACTOR / OWNER SHALL IMMEDIATELY INFORM THE ARCHITECT. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING AND PAYING FOR ALL REQUIRED PERMITS, INSPECTIONS AND CERTIFICATES NECESSARY TO CONFORM TO LAWS AND REGULATIONS.
PRECEDENCE OF CONTRACT PROVISIONS
IF ANY CONFLICTS EXIST IN THE CONTRACT DOCUMENTS THEY SHALL BE RESOLVED IN THE ORDER OF PRIORITY LISTED BELOW WITH THE HIGHEST PRIORITY LISTED FIRST ON THE LIST. WORK OR MATERIALS SHOWN ON ONE OR MORE LOCATIONS BUT NOT IN ALL SIMILAR LOCATIONS SHALL BE DEEMED TO SHOW IN ALL SIMILAR CONDITIONS AND NOT TO AS CONFLICTS OR OMISSION.
GENERAL NOTES AND STANDARDS ABOVE ALL OTHER PROVISIONS
1. DIMENSIONS GIVEN IN NUMBERS ABOVE SCALED DIMENSIONS
2. INFORMATION PROVIDED IN SCHEDULES AND TABLES ABOVE DETAILS & NOTES.
3. LARGE SCALE DRAWINGS OVER SMALLER SCALED DRAWINGS.
SAFETY AND INDEMNIFICATION
THE CONTRACTOR SHALL BE SOLELY RESPONSIBLE FOR CONSTRUCTION MEANS, METHODS, TECHNIQUES, SEQUENCES AND PROCEDURES REQUIRED FOR THE SAFE EXECUTION AND COMPLETION OF THE WORK. THIS PROVISION INCLUDES PROTECTION OF ADJACENT PROPERTIES. THE CONTRACTOR SHALL CAREFULLY INVESTIGATE EXISTING CONDITIONS IN THE EXISTING STRUCTURE(S) ON OR NEAR THE BUILDING SITE, INCLUDING DEPTH OF EXISTING FOOTINGS ON AND OFF THE SITE. THE CONTRACTOR SHALL PROVIDE AND MAINTAIN ANY AND ALL NECESSARY BARRICADES, WARNING SIGNS, BRACING, SHORING, AND UNDERPINNING OF FOOTINGS AND FOUNDATIONS OF ADJACENT PROPERTIES. SHOULD THERE BE ANY SUBSTANDARD AND OR ADVERSE CONDITION FOUND DURING THE DEMOLITION OR CONSTRUCTION PROCESS, THE CONTRACTOR SHALL IMMEDIATELY NOTIFY THE ARCHITECT / ENGINEER, WHERE "VERIFY EXISTING CONDITION..." OR "VERIFY IN FIELD" (V.I.F.) IS NOTED ON PLANS OR DETAILS THE CONTRACTOR NEEDS TO VERIFY THAT THE EXISTING CONDITIONS CONFORM TO SPECIFIED CRITERIA. THE CONTRACTOR MUST NOTIFY THE ARCHITECT, THE OWNER AND THE CODE ENFORCEMENT OFFICIAL, WHERE EXISTING CONDITIONS DEVIATE FROM THE SPECIFIED CRITERIA.
THE CONTRACTOR AND HIS SUBCONTRACTORS SHALL OBTAIN AND PAY FOR WORKMEN'S COMPENSATION INSURANCE TO THE FULLEST EXTENT POSSIBLE. THE CONTRACTOR SHALL INDemnIFY AND HOLD HARMLESS THE OWNER AND ARCHITECT FROM AND AGAINST ALL CLAIMS, LOSSES AND EXPENSES ATTRIBUTABLE TO PROPERTY DAMAGE OR BODILY INJURY OR SICKNESS OR DISEASE OR DEATH DUE TO INJURY TO OR TO DESTRUCTION OF TANGIBLE PROPERTY INCLUDING LOSS OF USE THEREOF OR AUTOMOBILE RELATED DAMAGE AND / OR INJURY.
THE CONTRACTOR SHALL BE RESPONSIBLE FOR INITIATING, MAINTAINING AND SUPERVISING ALL SAFETY PRECAUTIONS AND PROGRAMS IN CONNECTION WITH THE WORK. THE CONTRACTOR SHALL PROVIDE ALL THE NECESSARY DEVICES AND EQUIPMENT FOR SAFETY, ACCIDENT PREVENTION AND FIRE PREVENTION.

GENERAL DEMOLITION NOTES

- 1. PROVIDE INTERIOR SHORING, BRACING OR SUPPORT TO PREVENT MOVEMENT, SETTLEMENT OR COLLAPSE OF STRUCTURE OR ELEMENT TO BE DEMOLISHED AND ADJACENT FACILITIES OR WORK TO REMAIN.
2. PROTECT FROM DAMAGE EXISTING FINISH WORK THAT IS TO REMAIN IN PLACE AND BECOMES EXPOSED DURING DEMOLITION OPERATIONS.
3. PROTECT FLOOR WITH SUITABLE COVERINGS WHERE NECESSARY.
4. CONSTRUCT TEMPORARY INSULATED SOLID DUST PROOF PARTITIONS WHERE REQUIRED TO SEPARATE AREAS WHERE NOISY OR EXTENSIVE DIRT OR DUST OPERATIONS ARE PERFORMED. EQUIP PARTITIONS WITH DUST PROOF DOORS AND SECURITY LOCKS IF REQUIRED.
5. PROMPTLY REPAIR DAMAGES CAUSED TO ADJACENT FACILITIES BY DEMOLITION WORK AT NO COST TO OWNER.
6. USE WATER SPRINKLING, TEMPORARY ENCLOSURES AND OTHER SUITABLE METHODS TO LIMIT DUST AND DIRT RISING AND SCATTERING IN AIR TO LOWEST PRACTICAL LEVEL, COMPLY WITH CONCERNING REGULATIONS PERTAINING TO ENVIRONMENTAL PROTECTION.
7. INSPECT AREAS IN WHICH WORK WILL BE PERFORMED. PHOTOGRAPH EXISTING EQUIPMENT OR TO SURROUNDING PROPERTIES. CONDITIONS TO STRUCTURE SURFACES WHICH COULD BE MISCONSTRUED AS DAMAGE RESULTING FROM DEMOLITION WORK.
8. PROVIDE WEATHER PROOF CLOSURES FOR EXTERIOR OPENINGS RESULTING FROM DEMOLITION WORK.

LIST OF SHOP DRAWINGS REQUIRED:

- 1) HVAC SYSTEMS:
-HVAC CONTRACTOR TO PROVIDE DESIGN AND INSTALLATION OF ENTIRE HVAC SYSTEMS.

ZONING TABLE
ZONE R-4 SINGLE FAMILY MILLBURN NJ ESSEX COUNTY

Table with 4 columns: ITEM, PERMITTED, EXISTING, PROPOSED. Rows include MIN. LOT AREA, MIN. LOT WIDTH, MAX. DEPTH OF MEASUREMENTS, MIN. FRONT YARD, MIN. REAR YARD, MIN. SIDE YARD, SIDE YARDS COMBINED, MAX. BUILDING COVERAGE, FAR, MAX. LOT COVERAGE, MAX. HEIGHT OF BUILDING, MAX. STOREY.

DRYWAY EXISTING 1509 S.F.
WALKWAY EXISTING 306 S.F.
PROPOSED DECK 285 S.F.
TOTAL AREA 2100 S.F.

BUILDING DATA

STATE OF NEW JERSEY.
ADOPTED CODES AND STANDARDS:
- N.J.A.C. REHAB SUBCODE
- INTERNATIONAL RESIDENTIAL CODE- NJ ED, 2021-
NATIONAL ELECTRICAL CODE, 2020 (NFPA 70).
- NATIONAL STANDARD PLUMBING CODE, 2021
- INTERNATIONAL ENERGY CONSERVATION CODE, 2021 (LOW-RISE RESIDENTIAL)
- INTERNATIONAL MECHANICAL CODE, 2021.
- INTERNATIONAL FUEL GAS CODE, 2021

- 1. NUMBER OF STORES 2
2. BUILDING HEIGHT ±30'-5"
3. CONSTRUCTION CLASS V-B
4. USE GROUP R-5
5. NUMBER OF BEDROOMS -

BUILDING AREA/VOLUME CALCULATIONS

Table with 3 columns: SPACE, AREA (SQ. FT.), VOLUME (CU. FT.). Rows include FIRST FLOOR LEVEL, SECOND FLOOR LEVEL, BASEMENT FLOOR LEVEL, ATTIC FLOOR LEVEL, GARAGE, TOTAL LIVING AREA, TOTAL VOLUME.

TOTAL ADDITION AREA : 568.00 S.F.
TOTAL ADDITION VOLUME : 7'616.00 C.F.

ISSUANCE table with columns #, DATE, FOR. Rows include 1 05/30/23 PERMIT, 2 06/15/23 AS PER ZONING COMMENTS, 3 07/18/23 AS PER CLIENT REQUEST.

PROJECT NAME:
65 TROY ROAD
BLOCK 13, LOT 18,
SHORT HILLS TOWNSHIP,
ESSEX, NJ, 07078

OWNER:

DANON GROUP
RAFAEL DANON RA.
1218 WARRENS WAY,
WANAGUE, NJ, 07465
TEL: 201-681-7777
TEL: 973-723-0039
DANONGROUP@AOL.COM

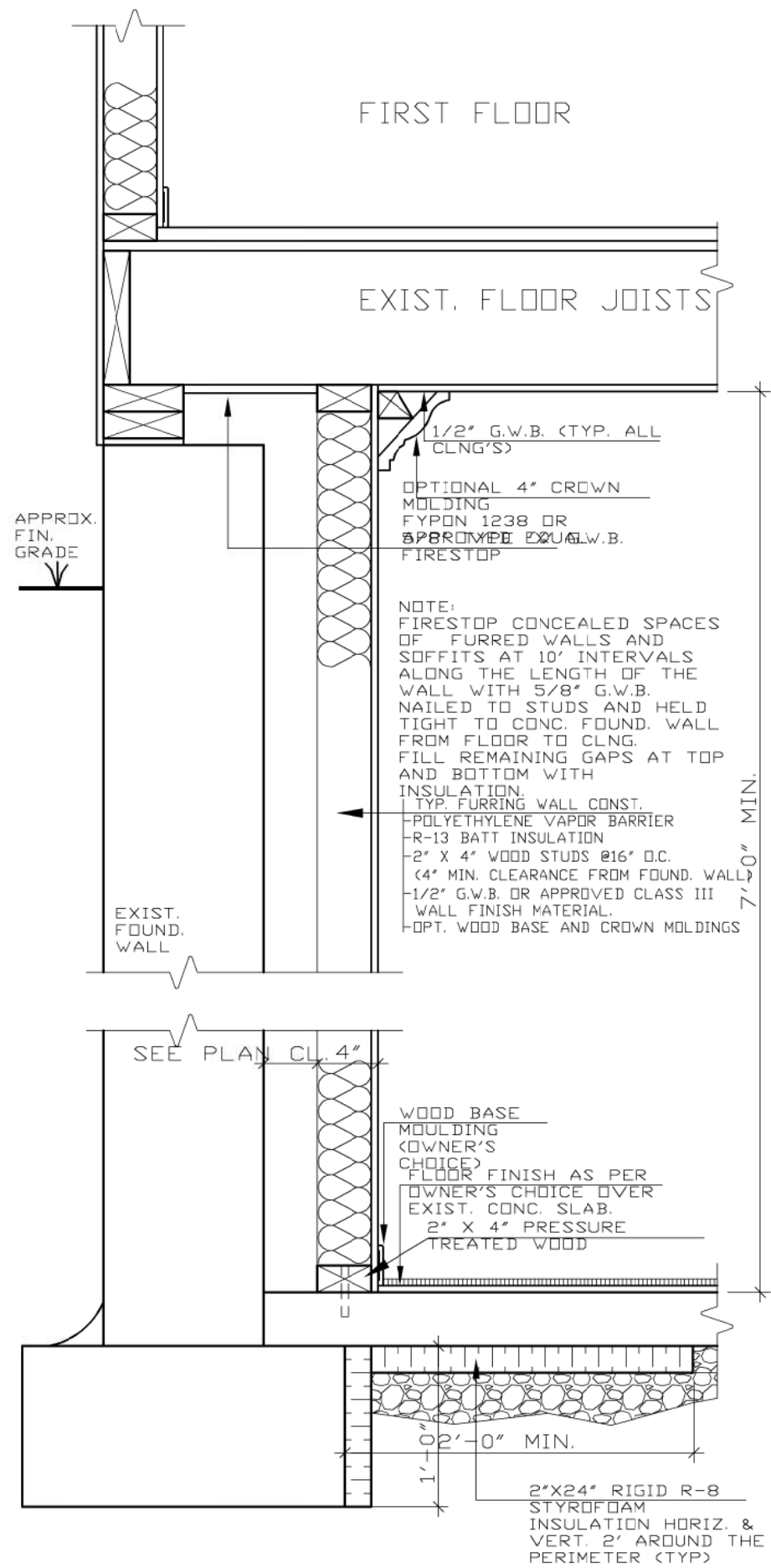
RAFAEL DANON, R.A.,
REGISTERED ARCHITECT

SHEET TITLE:
COVER SHEET

SCALE: AS NOTED
DRAWN BY: M.A
REVIEWED BY: R.D.

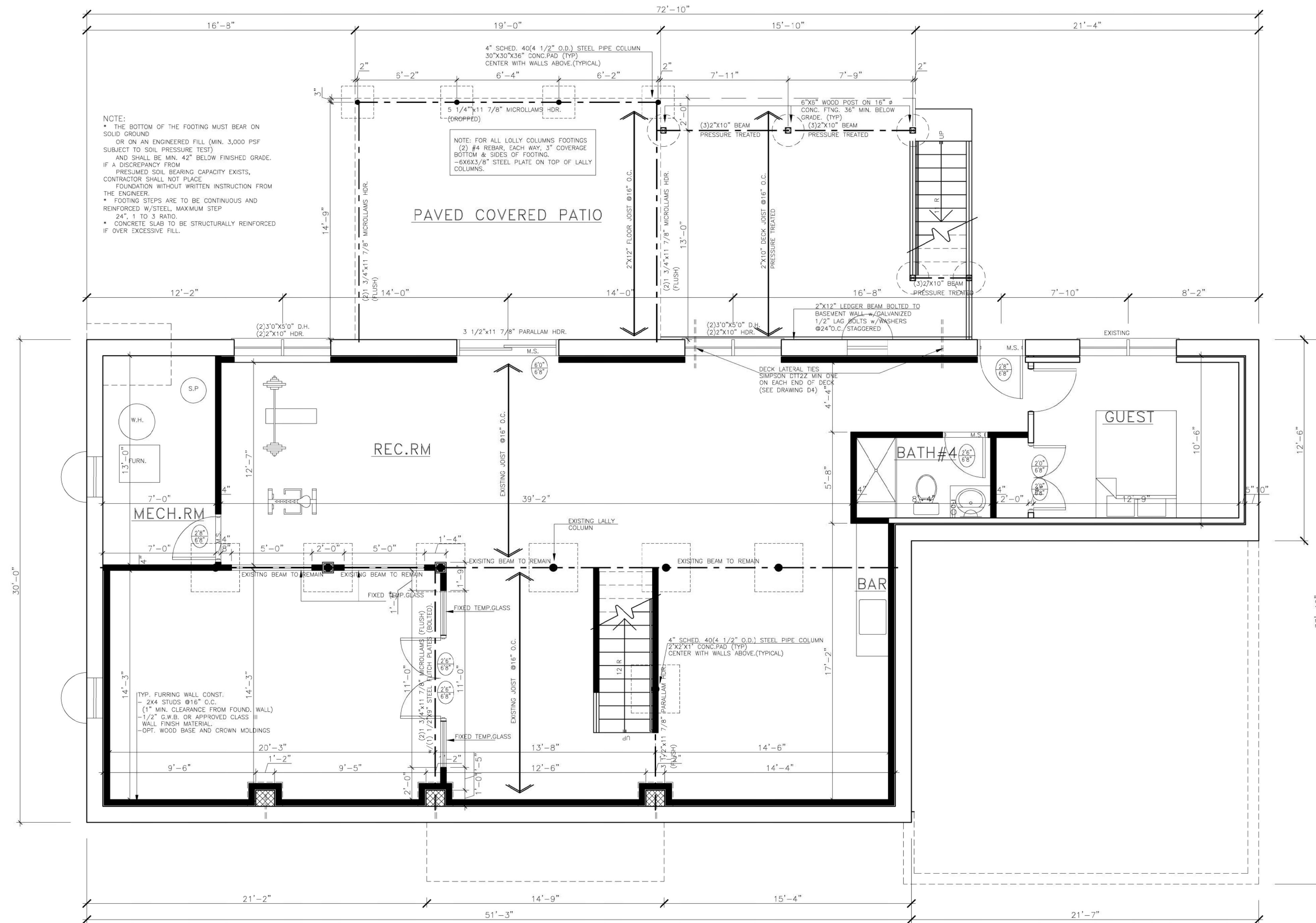
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JOB #:
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905DW FINISHED BASEMENT WALL

SCALE 1"=1'-0"



1 BASEMENT/FOUNDATION PLAN

SCALE 1/4"=1'-0" AREA - 1807.00 S.F. VOLUME - 16263.00 C.F.

ISSUANCE:	DATE:	FOR:
1	05/30/23	PERMIT
2	06/15/23	AS PER ZONING COMMENTS
3	07/13/23	AS PER CLIENT REQUEST

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 TEL: 973-723-0039
 DANONGROUP@AOL.COM

RAFAEL DANON, R.A.,
 REGISTERED ARCHITECT

SHEET TITLE:
 FINISHED BASEMENT

SCALE: AS NOTED
 DRAWN BY: M.A.
 REVIEWED BY: R.D.

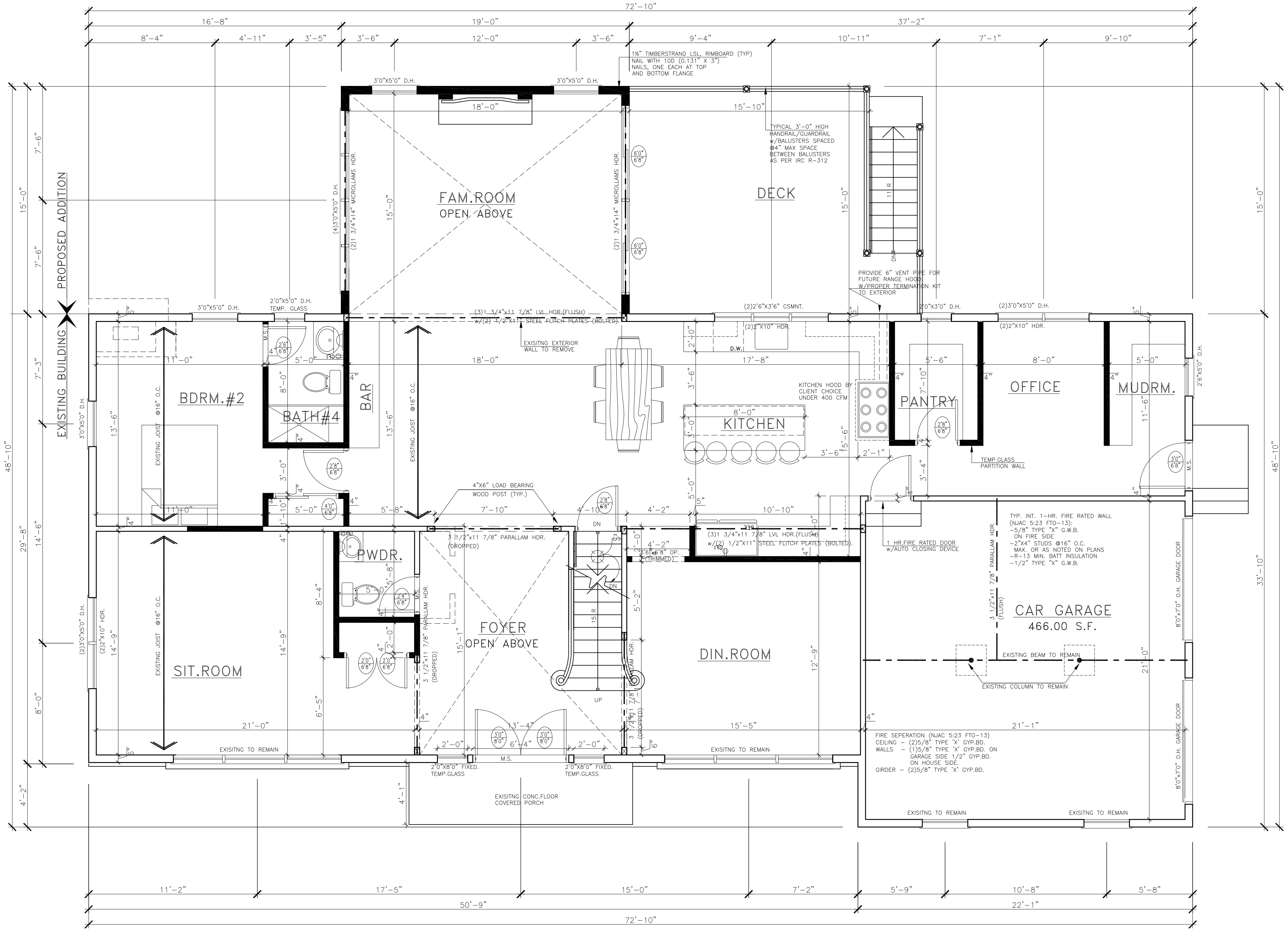
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- FRAMING NOTES:**
1. ALL LUMBER, WOOD CONSTRUCTION AND FASTENING TO CONFORM TO SPECIFICATION AND CODES MODIFICATIONS SET FORTH IN SECTION 6.1 OF THE GENERAL NOTES (SEE SHEET G-1).
 2. ALL LUMBER SHALL BE AIR KILN DRIED (MC=15% MAX.) AND SHALL BE FREE FROM LOOSE LARGE KNOTS, EXCESS SAP OR OTHER DEFECTS WHEREBY ITS STRENGTH MAY BE IMPAIRED.
 3. SET ALL JOISTS AND BEAMS WITH NATURAL CAMBER UP. ENDS LAPPED MIN. 6" OVER BEARING SHALL BE SECURELY SPIKED TOGETHER. PROVIDE AT LEAST 1-1/2" BEARING ON ALL JOISTS.
 4. EXTERIOR WALL FRAMING SHALL BE MIN. 2"x6"@16" O.C. w/DOUBLE TOP PLATES U.O.N.
 5. EXTERIOR SHEATHING SHALL BE 1/2" EXTERIOR GRADE PLYWOOD SHEATHING IN 4"x8", 9" OR 10" PANELS.
 6. PARTITIONS SHALL BE FRAMED WITH MIN. 2"x4"@16" O.C. HEM-FIR STUD GRADE OR BETTER.
 7. PROVIDE METAL OR 5/4"x3" WOOD CROSS BRACING AT A MAX. OF 4'-0" O.C. AND SOLID BRIDGING AT JOIST ENDS.
 8. DOUBLE FLOOR JOISTS UNDER ALL INTERIOR PARTITIONS RUNNING PARALLEL TO FRAMING.
 9. PROVIDE SOLID BLOCKING UNDER ALL POINT LOADS AND COLUMNS.
 10. INSTALL 1/2" CDX PLYWOOD ROOF SHEATHING (3/4" WITH 24" O.C. FRAMING). SHEATHING TO BE FIRE-RETARDANT TREATED AT 4'-0" ON EITHER SIDE OF RATED WALL ASSEMBLIES ABUTTING ROOFING.
 11. UNDER FLOORING SHALL BE MIN. 1 LAYER 3/4" T&G C.D. PLYWOOD OR AS NOTED ON PLANS. GLUE ALL EDGES SUPPORTED. ALLOW MIN. 1/16" BETWEEN JOISTS AND 1/8" AT EDGES FOR EXPANSION.
 12. ALL HEADERS FOR OPENINGS IN FRAME WALLS TO BE MIN. (2)2"x4" U.O.N. (SEE HEADER TABLE ON SHEET G-1) USE 3/8" PLY PACK-OUT TO MATCH STUD THICKNESS. MIN. BEARING TO BE 3" U.O.N.
 13. ALL FRAMING EXPOSED TO MASONRY OR WEATHER TO BE PRESSURE TREATED.
 14. FIRE-STOP ON WALLS 10' OR HIGHER WALLS AT MID-HEIGHT. FIRE STOP ALL VERTICAL/HORIZONTAL CONNECTIONS SUCH AS DROPPED SOFFITS AND DROPPED CEILING, AT OPENINGS ABOVE DUCTS, CHIMNEYS, VENTS AND PIPES.
 15. DRAFT STOP NON-SPRINKLERED RESIDENTIAL HUNG CEILING SPACES AT 500 S.F. MAX. AND 3,000 S.F. OF ATTIC. DRAFT STOP R-1 AND R-2 ABOVE TENANT SEPARATION WALLS.
 16. HIP AND VALLEY BEAMS AND RIDGES TO BE 2"x MEMBERS OF ONE SIZE LARGER THAN RAFTERS. DOUBLE UP HIP AND VALLEY RAFTERS.
 17. ALL REPETITIVE MEMBER FRAMING SHALL BE 16" O.C. U.O.N.
 18. PROVIDE MIN. 2"x4" COLLAR TIES @ 16" O.C. AT UPPER 1/3 OF VERTICAL DISTANCE BETWEEN RIDGE BOARD AND JOISTS.
 20. ADEQUATE CONNECTIONS IS THE SOLE RESPONSIBILITY OF THE GENERAL CONTRACTOR AND HIS SUBS.
 21. INSTALL PRESSURE TREATED LUMBER WHERE LUMBER IS IN CONTACT WITH CONCRETE, SILLS AND PLATES LESS THAN 8" FROM THE GROUND, AND ALL WOOD SIDING, SHEATHING AND WALL FRAMING ON THE EXTERIOR OF A BUILDING LESS THAN 6" FROM THE GROUND.

- SMOKE DETECTOR NOTES:**
1. THE INSTALLATION OR WIRING AND EQUIPMENT SHALL BE IN ACCORDANCE WITH THE APPLICABLE ELECTRICAL CODE.
 2. SMOKE DETECTORS SHALL BE PROVIDED AS FOLLOWS:
 - a. ON EACH AND EVERY FLOOR LEVEL AND WITHIN PROXIMITY OF EACH SEPARATE SLEEPING AREA AND;
 - b. WITHIN EACH AND EVERY SLEEPING ROOM IN DWELLING UNITS INCLUDING ANY ENCLOSED ROOM WITH CLOSET OR EGRESS WINDOW AND;
 - c. IN BASEMENT AND RECREATION ROOMS.
 3. EACH SMOKE DETECTOR SHALL HAVE AN INTEGRAL TEST MEANS TO PERMIT THE OCCUPANT TO CHECK THAT IT IS OPERATIONAL. A CONTINUOUS POWER DISPLAY INDICATOR LIGHT IS RECOMMENDED.
 4. SMOKE DETECTORS SHALL BE LOCATED ON OR NEAR THE CEILING AND WITHIN 15 FEET OF ALL ROOMS USED FOR SLEEPING PURPOSES.
 5. IF CEILING MOUNTED THE CLOSEST EDGE OF DETECTORS SHALL BE MIN. OF 4" FROM ANY WALL.
 6. IF WALL MOUNTED, THE CLOSEST EDGE OF THE DETECTORS SHALL BE MIN. OF 4" AND MAX. OF 12" FROM THE CEILING.
 7. ALL SMOKE DETECTORS SHALL BE A/C INTERCONNECTED AND SHALL BE PROVIDED WITH A BATTERY BACKUP SYSTEM IN CASE OF POWER INTERRUPTION.
 8. UNITS TO BE EITHER IONIZATION CHAMBER OR PHOTOELECTRIC TYPE AND COMPLY WITH RS-17-111 UNITS TO BE APPROVED BY BOARD OF STANDARDS AND APPEALS OR BE LISTED BY AN ACCEPTED TESTING LABORATORY SUCH AS DETECTORS-ANS/ANRA NO. 34.
 9. A CERTIFICATE OF SATISFACTORY INSTALLATION MUST BE FILED WITH THE DIVISION OF CODE ENFORCEMENT TEN DAYS AFTER THE INSTALLATION OF SMOKE DETECTORS.

- FLOOR PLAN NOTES:**
1. CONSTRUCTION:
 - A. ALL PARTITIONS ARE 3/2" ROUGH (U.O.N.)
 - B. ALL ANGLED PARTITIONS ARE 45 DEGREES (U.O.N.)
 - C. ALL WINDOWS HEAD HEIGHTS TO BE AT 6'-8" OFF FINISHED FLOOR ELEVATION (U.O.N.)
 - D. ALL EXTERIOR 2"x6" WALLS ARE TO HAVE R-19 INSULATION.
 - E. (3)2"x4" (MIN.) POST AT EACH END OF ALL BEAMS AND OTHER TRUSSES (U.O.N.) ALL SUCH CONCENTRATED LOADS SHALL BE TRANSFERRED TO FOUNDATION VIA BEAMS, POSTS AND/OR SOLID WOOD BLOCKING.
 - F. ALL DIMENSIONS ARE TO FACE OF STUD (U.O.N.)
 2. DOUBLE FLOOR JOISTS UNDER ALL BEARING WALLS RUNNING PARALLEL TO FRAMING, UNLESS OTHERWISE NOTED ON PLANS.
 3. CEILING HEIGHTS IRC 305.1.1 HABITABLE ROOMS, HALLWAYS, CORRIDORS, BATHROOMS, TOILET ROOMS, LAUNDRY ROOMS AND HABITABLE BASEMENTS SHALL HAVE A CEILING HEIGHT OF NOT LESS THAN 7'-0" MEASURED TO THE LOWEST PROJECTION FROM THE CEILING.
 - A. AN ATTIC ACCESS SHALL BE PROVIDED WHERE INDICATED UNLESS OTHERWISE NOTED OR REQUIRED. THE OPENING SHALL NOT BE LESS THAN 20"x30".
 - B. ALL ATTIC ACCESS OPENINGS, OR OTHER OPENINGS INSTALLED IN TOP CEILING, SHALL BE CLOSED, GASKETED OR OTHERWISE SEALED WITH MATERIALS APPROVED FOR SUCH APPLICATIONS.
 4. THE ACTUAL SIZE MAY DIFFER ACCORDING TO MANUFACTURER. THE SHOWER COMPARTMENT IS TO BE TILED TO A HEIGHT OF 6'-0" TILED FLOORS. BATH TUBS INDICATED ARE OF STANDARD SIZE. THE ACTUAL SIZE MAY VARY ACCORDING TO MANUFACTURE. WHERE A SHOWER HEAD IS PROVIDED, THE COMPARTMENT SHALL BE TILED TO A HEIGHT OF 6'-6". FIBERGLASS UNITS ARE OPTIONAL AND MAY BE CONSIDERED AN EXTRA.
 5. BATHS IN ATTIC SPACE. ATTIC SEE OF BATH WALLS SHALL BE SHEATHED. DRAFT STOP FLOOR JOISTS UNDER BATH WALLS.
 7. PROVIDE MOISTURE RESISTANT C.W.B. AROUND ALL WET AREAS IN KITCHENS AND BATHROOMS.
 8. ALL WINDOWS DESIGNATIONS ARE GENERIC SIZES.
- LAUNDRY ROOM NOTES:**
- LAUNDRY ROOM: ALL LAUNDRY ROOMS SHALL BE PROVIDED WITH A LOUVERED DOOR. WHERE GAS DRYER IS USED OR THE LAUNDRY ROOM SHALL BE PROVIDED WITH (2) OPENINGS ONE WITHIN 12 INCHES OF THE BOTTOM OF THE SPACE, AND ONE WITHIN 12 INCHES OF THE TOP OF THE SPACE.



1 FIRST FLOOR PLAN
 A-4
 SCALE 1/4"=1'-0" AREA - 2067.00 S.F. VOLUME - 18603.00 C.F.

NOTE: EVERY SLEEPING ROOM SHALL HAVE (1) MIN. OPERABLE WINDOW OR EXTERIOR DOOR OPENING APPROVED FOR EMERGENCY EGRESS. UNITS MUST BE OPERABLE FROM INSIDE TO A FULL CLEAR OPENING WITHOUT USE OF SEPARATE TOOL. EGRESS WINDOWS SHALL HAVE:

- SILL HEIGHT	NOT MORE THAN 44" A.F.F.
- MIN. NET CLEAR OPENING	5.7 S.F.
- MIN. NET CLEAR OPENING HEIGHT	24"
- MIN. NET CLEAR OPENING WIDTH	20"

ISSUANCE:

#	DATE:	FOR:
1	05/30/23	PERMIT
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3	07/18/23	AS PER CLIENT REQUEST

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 SHORT HILLS TOWNSHIP,
 ESSEX, NJ, 07078

OWNER:

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 TEL: 201-681-7777
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 DANONGROUP@AOL.COM

RAFAEL DANON, R.A.
 REGISTERED ARCHITECT

SHEET TITLE:
 FIRST FLOOR PLAN
 PROPOSED

SCALE: AS NOTED
DRAWN BY: M.A
REVIEWED BY: R.D.

A02

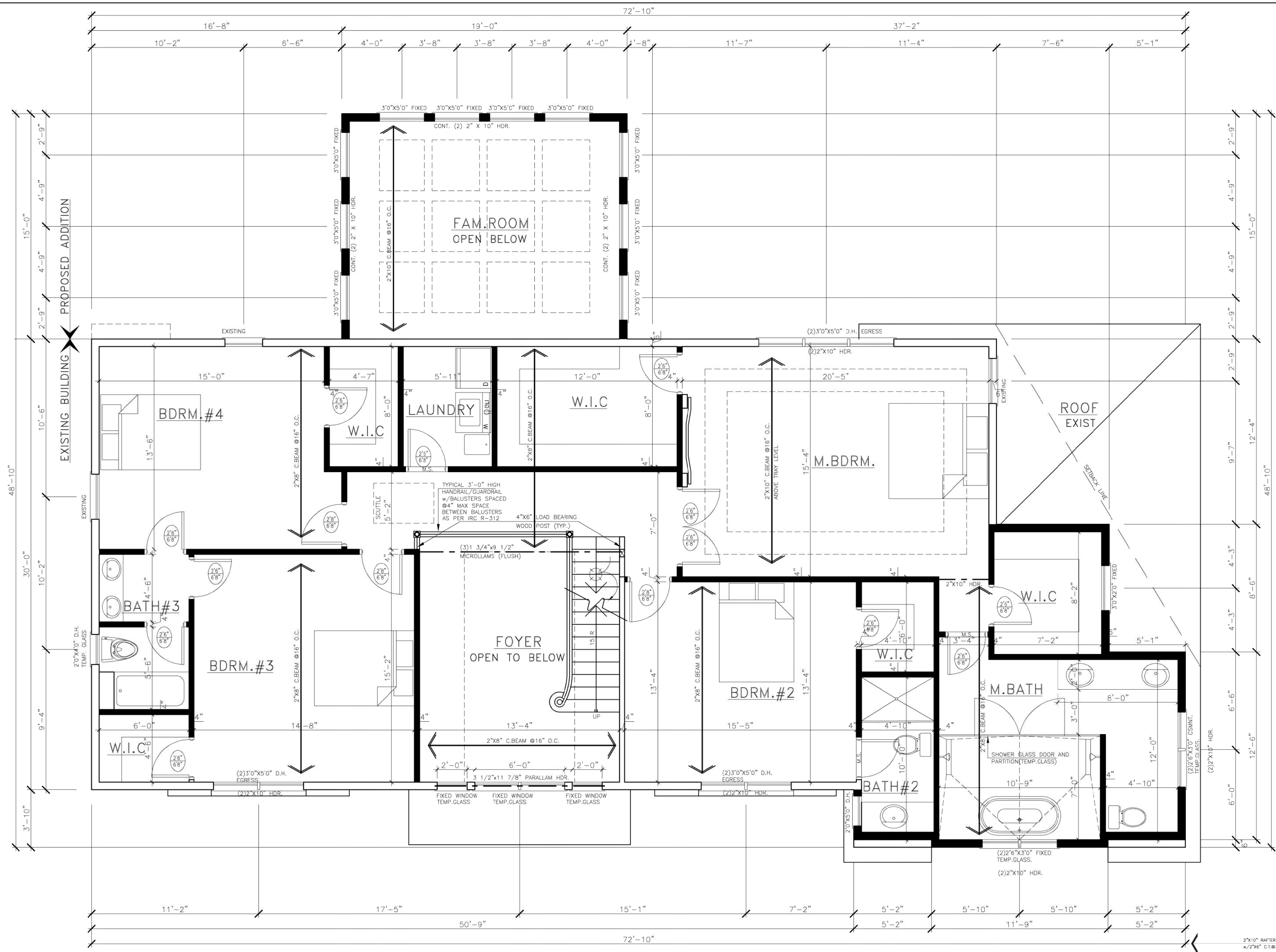
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STAIR NOTES - IRC 314.315.316

- TREADS AND RISERS (NAC 5.23-3.14) IN OCCUPANCIES IN USE GROUP R-3, WITHIN DWELLING UNITS IN OCCUPANCIES IN USE GROUP R-2 AND IN OCCUPANCIES IN USE GROUP R-1 WHICH ARE ACCESSORY TO AN OCCUPANCY IN USE GROUP R-3, THE MAXIMUM RISER HEIGHT SHALL BE 7 7/8" AND THE MAXIMUM TREAD DEPTH SHALL BE 10" PLUS NOSING PROVIDED A NOSING NOT LESS THAN 3/4" BUT NOT MORE THAN 1 3/4" ON STAIRWAYS WITH SOLID RISERS WHERE THE TREAD DEPTH IS LESS THAN 11". THE LEADING EDGE OF TREAD SHALL NOT PROJECT MORE THAN 1 1/2" BEYOND THE TREAD BELOW.
- ALL TREADS AND RISERS ARE TO BE EQUAL. THE TOLERANCE BETWEEN THE LARGEST AND SMALLEST TREAD SHALL NOT EXCEED 3/32" IN ANY FLIGHT OF STAIRS.
- STAIR GUARDS/HANDRAILS SHALL HAVE BALUSTERS OR BE OF SOLID MATERIAL SUCH THAT A SPHERE WITH A DIAMETER OF 4" CANNOT PASS THROUGH ANY OPENING.
- THE TRIANGULAR OPENINGS FORMED BY THE RISER, TREAD AND BOTTOM RAIL AT THE OPEN SIDE OF THE STAIRWAY SHALL BE A MAX SIZE SUCH THAT A SPHERE 6" CANNOT PASS THROUGH ANY OPENINGS.
- ALL HANDRAILS GRIPPING SURFACES SHALL BE CONTINUOUS WITH ANY WALL OR OTHER SURFACE ADJACENT TO THE HANDRAIL. THE CLEAR SPACE BETWEEN THE HANDRAIL AND ADJACENT WALL OR SURFACE SHALL NOT BE LESS THAN 1 1/2". HANDRAILS SHALL NOT PROJECT MORE THAN 3 1/2" INTO THE STAIR.
- HANDRAILS THAT FORM PART OF A GUARD SHALL HAVE A HEIGHT OF NOT LESS THAN 34 INCHES AND NOT MORE THAN 38".
- HANDRAILS SHALL BE GRASPABLE WITH A CROSS-SECTIONAL AREA OUTSIDE DIAMETER A MIN. OF 1 1/4" BUT NOT GREATER THAN 2".
- STAIR GUARD/HANDRAILS SHALL BE CONSTRUCTED TO WITHSTAND A CONCENTRATED LOAD OF 200 POUNDS APPLIED AT ANY POINT AND IN ANY DIRECTION.
- INTERMEDIATE HANDRAILS ARE REQUIRED SO THAT ALL PORTIONS OF THE WIDTH OF THE STAIRS ARE WITHIN 30" OF A HANDRAIL. ON MONUMENTAL STAIRS, HANDRAILS SHALL BE LOCATED ALONG THE MOST DIRECT PATH OF TRAVEL.
- ALL GUARDRAILS SHALL BE A MIN. OF 36" ABOVE FIN. FLOOR.
- OPEN GUARDS SHALL HAVE BALUSTERS OR BE OF SOLID MATERIAL SUCH THAT A SPHERE WITH A DIAMETER OF 4" CANNOT PASS THROUGH ANY OPENING.
- GUARDS SHALL NOT HAVE AN ORNAMENTAL PATTERN THAT WOULD PROVIDE A LADDER EFFECT.
- ALL HANDRAILS, GUARDRAILS & BALUSTERS EXPOSED TO THE WEATHER SHALL BE PRESERVE TREATED WOOD OR METAL.
- STAIRWAYS WITH FEWER THAN THREE RISERS ARE NOT REQUIRED TO HAVE HANDRAILS, WHEN SERVING A SINGLE FAMILY DWELLING UNIT.
- THE MIN. HEADROOM IN ALL PARTS OF A STAIRWAY SHALL BE NOT LESS THAN 80" OR 78" FOR A SPIRAL STAIRWAY, MEASURED VERTICALLY FROM A LINE CONNECTING THE EDGE OF THE NOSING, SUCH HEADROOM SHALL BE CONTINUOUS ABOVE THE STAIRWAY AND TO THE FULL WIDTH OF STAIRWAY AND LANDING.

DECK NOTES: IRC

- ALL WORK SHALL CONFORM TO ALL APPLICABLE STATE AND LOCAL CODES. CONTRACTOR SHALL CHECK AND VERIFY ALL DIMENSIONS AND CONDITIONS PRIOR TO STARTING WORK.
 - ALL LUMBER USED SHALL BE ACQ PRESERVATIVE TREATED OR CEDAR OR REDWOOD (NATURALLY DURABLE) WITH A MIN. FIBER STRESS OF 1092.
 - DECK POST FOUNDATION MAY BE EITHER OF THE FOLLOWING:
(A) 12"x12" SOLID CONCRETE; OR
(B) 12"x12" MASONRY FILLED SOLID WITH CONCRETE (MAX. 7'-0" GROSS SPAN) OR
(C) 12" DIAMETER SCHEDULE FILLED SOLID WITH CONCRETE (MAX. 7'-0" GROSS SPAN) OR
(D) ALL MELLOW CONCRETE MASONRY UNITS USED SHALL BE CONCRETE BLOCK (ASTM C90, TYPE N) PER CODE.
 - ALL CONCRETE SHALL BE MIN. 3000 P.S.I. MIX. ALL FOOTINGS TO REST ON FIRM BEARING TWO (2) TON (4000) SOIL.
 - ALL FOOTINGS TO BE 3'-6" MINIMUM BELOW FINISHED GRADE.
 - DECKING ALTERNATES:
(A) 2" x 4"
(B) 2" x 4"
(C) 2" x 4"
 - LEDGER STRIP TO BE MIN. 2"x12" MEMBER AND SHALL NOT BE LESS IN DEPTH THAN THE DEPTH OF THE DECK JOISTS. PROVIDE EITHER 1/2" x 4" (MIN.) LAG SCREWS W/WASHERS OR 1 1/2" TRUSS BOLTS W/WASHERS MAX. 16" O.C. STAGGER TOP & BOTTOM. PROVIDE WASHERS FOR AIR SPACE BETWEEN SIDING AND LEDGER DO NOT HANG FROM A CANTILEVER. NOTE: WITH DROPPED DECK CONDITIONS - ANCHOR LEDGER TO MASONRY FOUNDATION WALL WITH 3/8" EXPANSION BOLTS MAX. 16" O.C. STAGGER TOP & BOTTOM.
 - PROVIDE APPROVED JOIST HANGERS, POST CAPS, BRACKETS AND OTHER SIMILAR FASTENERS AS REQUIRED TO SUIT FRAMING CONDITIONS AND DETAILS. ALL SUCH FASTENERS SHALL BE ENGINEERED (BY INSTALLER AND INSTALLED TO DEVELOP FULL STRENGTH OF THE MEMBERS SUPPORTED. INSTALL IN ACCORDANCE WITH THE MANUFACTURER'S WRITTEN INSTRUCTIONS AND DETAILS FOR THE USE INTENDED.
 - ALL METAL SHALL BE TRIPLE HOT DIPPED GALVANIZED.
 - ALL CONSTRUCTION SHALL CONFORM TO APPLICABLE BUILDING CODES INCLUDING ANY/ ALL AMENDMENTS AND ANY APPLICABLE REQUIREMENTS OF THE LOCAL AUTHORITIES HAVING JURISDICTION.
 - LINE LOAD 40 P.C.F. MIN.
 - FOR DECK HEIGHT ABOVE GRADE SEE SURVEY.
 - DECK GUARDS:
A. DECK GUARDRAILS SHALL BE A MIN. OF 36" IN HEIGHT AND CONSTRUCTED TO WITHSTAND A CONCENTRATED LOAD OF 200 POUNDS APPLIED AT ANY POINT AND IN ANY DIRECTION ALONG THE TOP RAILING MEMBER. IRC R301.4
B. OPEN GUARDS SHALL HAVE BALUSTERS OR BE OF SOLID MATERIAL SUCH THAT A SPHERE OF 4" CANNOT PASS THROUGH ANY OPENING.
C. GUARDS SHALL NOT HAVE AN ORNAMENTAL PATTERN THAT WOULD PROVIDE A LADDER EFFECT.
 - STAIRWAY FOOTINGS ARE TO BE SUPPORTED BY A MIN. 4" WOOD POST WITH A FOOTING IN CONFORMANCE WITH CHAPTER 18 OF IBC-2006 OR THE STEPS ARE TO TERMINATE ON A MIN. 4" THICK CONCRETE SLAB WHICH EXTENDS THE WIDTH OF THE STAIRWAY AND 3 FEET MIN. THE WIDTH OF MOST FOOTING IN THIS AREA ARE A MIN. 12" SQUARE OR ROUND IN ORDER TO CARRY THE REQUIRED DEAD LOAD OF 60 POUNDS. FOOTINGS SHALL REST ON UNDISTURBED SOIL.
 - ALL STAIRS WITH MORE THAN TWO RISERS SHALL HAVE APPROVED FOOTINGS UNDER BOTH STRINGERS AND A LEVEL AND STABLE PAD OF 4" MIN. THICK X (THE WIDTH OF THE STAIR) X 36" CONCRETE OR EQUAL. ALL STAIRS LESS THAN TWO RISERS SHALL HAVE A LEVEL AND A STABLE CONCRETE PAD A MIN. 4" THICK X (WIDTH OF STAIR) X 36 INCH BEYOND THE BOTTOM RISER.
 - FRAMING CAN BE IN PROGRESS PRIOR TO POURING OF CONCRETE FOUNDATION AND PIERS WHEN DECK IS TEMPORARILY BLOCKED UP WITH CONCRETE OR WOOD BLOCKS.
- ALTERNATE DECK POST
- USE 4" CONCRETE FILLED PIPE COLUMN.
 - PROVIDE POST BASE AN CAP WITH WELDED OR BOLTED CONNECTIONS.
 - ALL FERROUS METAL TO BE SHOP PRIMED WITH ONE (1) COAT (2-MILS THICK) OF RUST INHIBITIVE PAINT. PROVIDE TWO (2) COATS (4-MILS THICK) WHERE STEEL IS EMBEDDED IN CONCRETE. RE-TOUCH IN FIELD AS REQUIRED. FINISH-PAINT EXPOSED METAL SURFACES.
 - MAXIMUM CLEAR HEIGHT FOR A 4" X 4" UNBRACED TREATED WOOD POST SHALL BE 5'-0" (FIVE FEET).
 - MAXIMUM CLEAR HEIGHT FOR A 6" X 6" UNBRACED TREATED WOOD POST SHALL BE 7'-0" (SEVEN FEET).



1 SECOND FLOOR PLAN

SCALE 1/4"=1'-0" AREA - 2,072.00 S.F. VOLUME - 16,579.00 C.F.

ROOF PLAN NOTES: IRC

- THE FINISHED ROOFING AND UNDERLAYMENT ARE TO BE INSTALLED AS PER THE MANUFACTURER'S RECOMMENDATIONS.
- ROOF AT OR OVER 4:12 PITCH SHALL HAVE A FLASHING STRIP OF MINERAL SURFACED ROLL ROOFING APPLIED FROM THE EAVES TO EXTEND TO A POINT 24 INCHES (MIN.) INSIDE THE INTERIOR WALL LINE. THE UNDERLAYMENT SHALL BE LAD PAILED TO THE EAVES WITH A 2" TOP LAP AND 4" END NAILED SUFFICIENTLY TO HOLD IN PLACE.
- ROOFS UNDER 4:12 PITCH BUT AT LEAST 2:12 PITCH SHALL HAVE TWO LAYERS OF UNDERLAYMENT LAD SHINGLE FASHION PARALLEL TO THE EAVES WITH A 1" TOP LAP AND 12" END LAP, WITH END LAPS LOCATED AT LEAST 6 FEET FROM END LAPS IN THE PRECEDING COURSE, AND BLIND NAILED SUFFICIENTLY TO HOLD IN PLACE. THE TWO LAYERS OF UNDERLAYMENT, FROM THE EAVES TO EXTEND TO A POINT 24"(MIN.) INSIDE THE INTERIOR WALL LINE.
- ROOF WINDOWS AND SKYLIGHTS SHALL BE GLAZED WITH APPROVED LAMINATED GLASS OR APPROVED PLASTIC MATERIALS.
- UNLESS OTHERWISE NOTED, FRAME OUT FOR CHIMNEYS AND ROOF WINDOWS / SKYLIGHTS WITH DOUBLE RAFTERS IN CATHEDRAL CEILINGS. FOR VENTILATION, PROVIDE THREE ROWS OF 2" DIAMETER HOLES WITH THE CENTERLINE AT LEAST 3" FROM THE TOP OF EACH RAFTER. WHOLE BAY IS NOT CONTINUOUS FROM THE EXTERIOR WALL TO THE RIDGE. IF APPLICABLE, THE VENTILATION HOLES SHALL BE PLACED ON BOTH SIDES OF THE OBSTRUCTION.
- FLASHING TO BE USED AT CHIMNEYS SKYLIGHTS, STACKS, AND OTHER VERTICAL SURFACES AND INSTALLED IN ACCORDANCE WITH THE RESIDENTIAL ROOFING MANUAL.
- VALLEY NOTE: UNLESS OTHERWISE NOTED, NO STRUCTURAL VALLEYS SHALL BE USED. VALLEYS SHALL BE FORMED BY SETTING ONE ROOF ON TOP OF ANOTHER. THE UPPER ROOF RAFTERS ARE TO BE SET ON A 2"x12" PLATE WHICH IS TO BE SET ON TOP OF THE SHEATHING OF THE LOWER ROOF AND NAILED THROUGH TO THE TOPS OF THE LOWER RAFTER. INSTALL 36" WIDE 50 LB. ROLL ROOFING FOR THE ENTIRE LENGTH OF THE VALLEY OVER THE UNDERLAYMENT PRIOR TO SHINGLE INSTALLATION.
- ROOF LEADERS NOT SHOWN. LEADERS SHALL BE LOCATED IN THE FIELD, COORDINATED AND INSTALLED IN AN APPROVED MANNER BY THE CONTRACTOR PER SITE AND ORIENTATION.
- ATTIC VENTILATION IS TO BE PROVIDED WITH 50% OF THE REQUIRED VENTS LOCATED IN THE UPPER PORTION OF THE ATTIC (RIDGE VENTS, ROOF JACKS ETC.) AND WITH 50% OF THE REQUIRED VENTS LOCATED IN THE LOWER PORTION (SOFFIT VENTS) OF THE ATTIC. ALL VENTS SHALL BE PROVIDED WITH INSECT SCREENS.

ISSUANCE:	
#	DATE:
1	05/30/23
2	06/15/23
3	07/18/23

FOR:	
PERMIT	AS PER ZONING COMMENTS
AS PER CLIENT REQUEST	

PROJECT NAME:
65 TROY ROAD
BLOCK 13, LOT 18,
SHORT HILLS TOWNSHIP,
ESSEX, NJ, 07078

OWNER:
DANON GROUP
 RAFAEL DANON RA,
 1218 WARRENS WAY,
 WANAGUE, NJ, 07465
 TEL: 201-681-7777
 DANONGROUP@AOL.COM

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RAFAEL DANON, R.A.,
 REGISTERED ARCHITECT

SHEET TITLE:
SECOND FLOOR, ROOF PLANS

SCALE: AS NOTED
 DRAWN BY: M.A
 REVIEWED BY: R.D.

A03

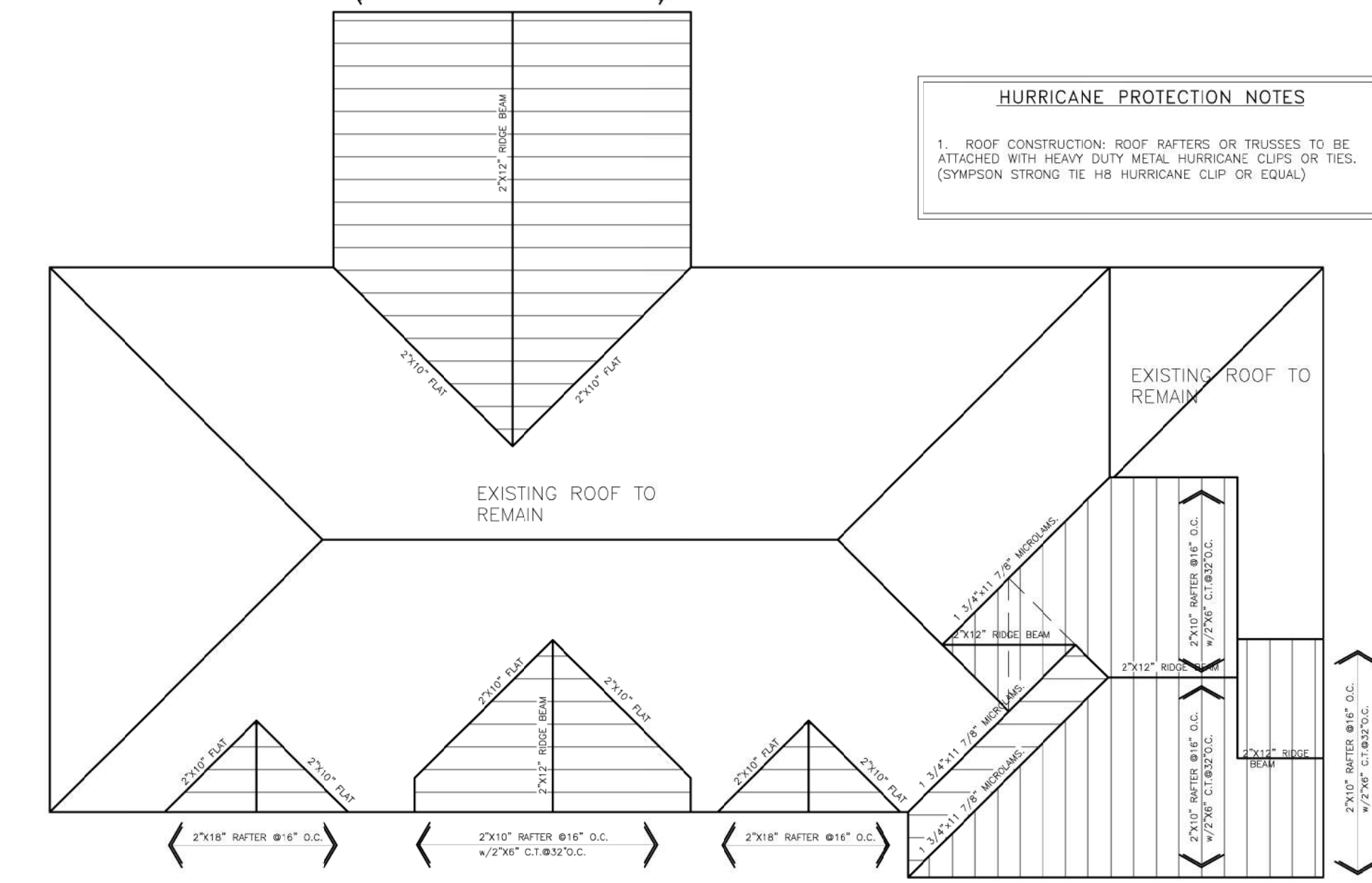
JOB #:
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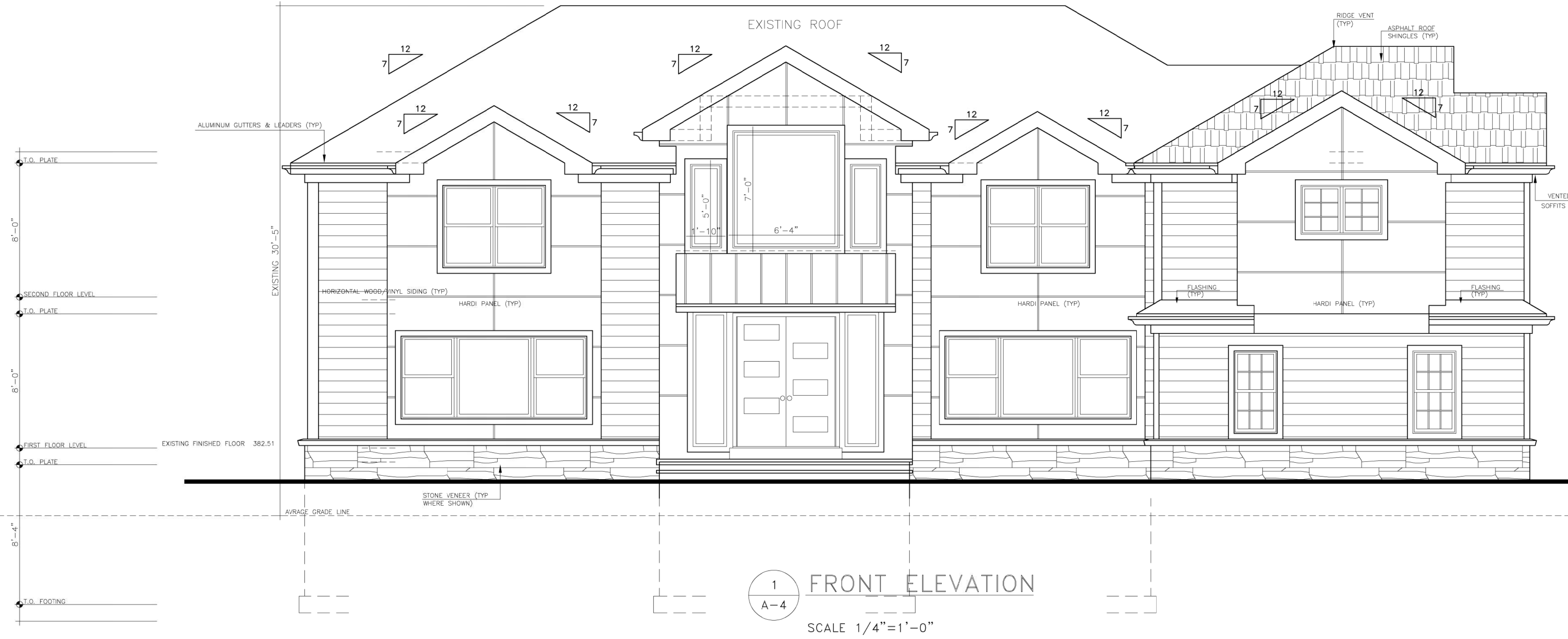
HURRICANE PROTECTION NOTES

- ROOF CONSTRUCTION: ROOF RAFTERS OR TRUSSES TO BE ATTACHED WITH HEAVY DUTY METAL HURRICANE CLIPS OR TIES. (SIMPSON STRONG TIE OR HURRICANE CLIP OR EQUAL).

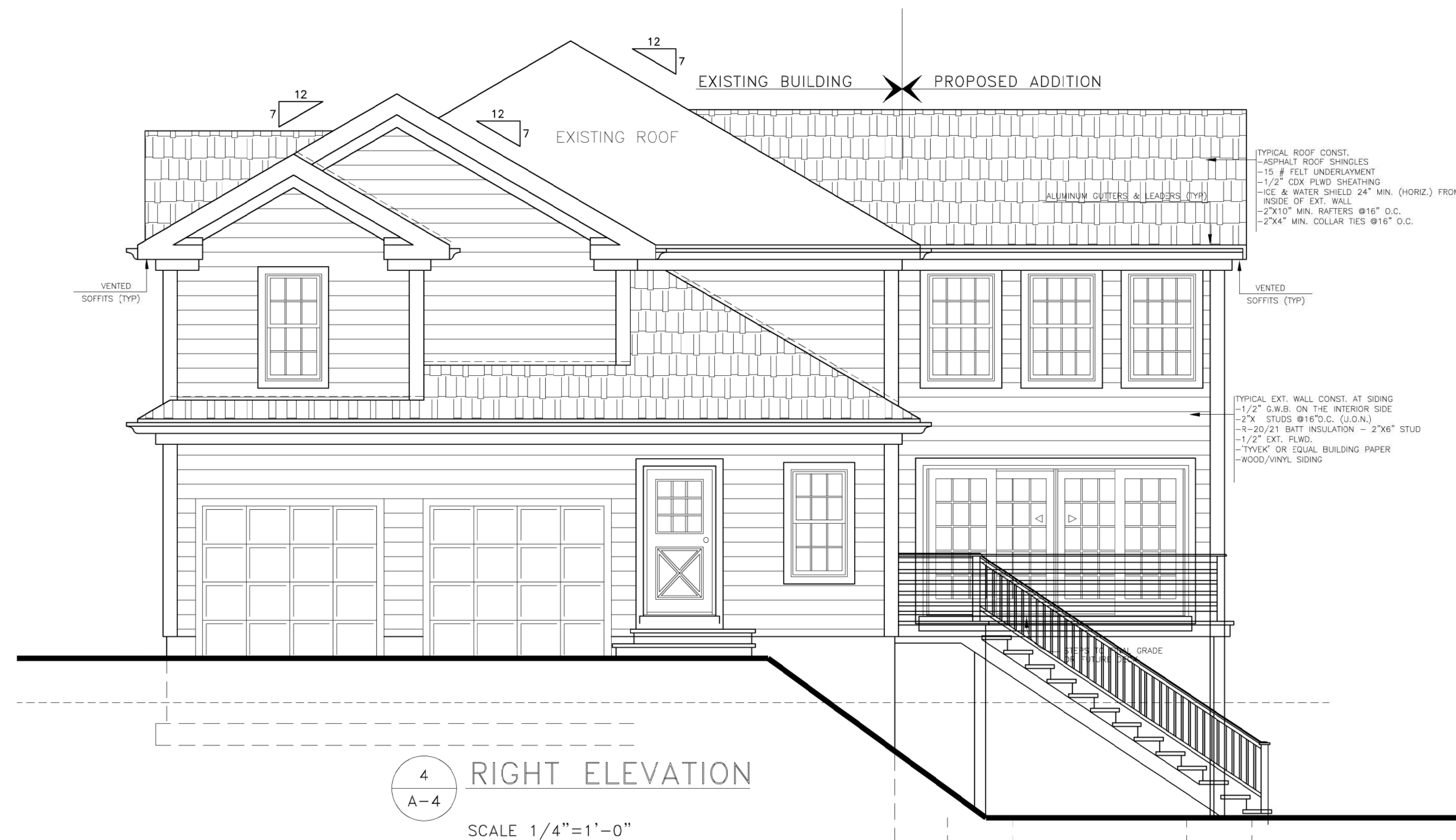
2 ROOF PLAN

SCALE 1/8"=1'-0"





1 FRONT ELEVATION
SCALE 1/4" = 1'-0"



4 RIGHT ELEVATION
SCALE 1/4" = 1'-0"

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TEL: 201-681-7777
TEL: 973-723-0039
DANONGROUP@AOL.COM

RAFAEL DANON, R.A.,
REGISTERED ARCHITECT

SHEET TITLE:
FRONT AND REAR ELEVATIONS

SCALE: AS NOTED
DRAWN BY: M.A.
REVIEWED BY: R.D.

A04

JOB #:
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1 REAR ELEVATION
A-5
SCALE 1/4"=1'-0"



2 LEFT ELEVATION
A-5
SCALE 1/4"=1'-0"

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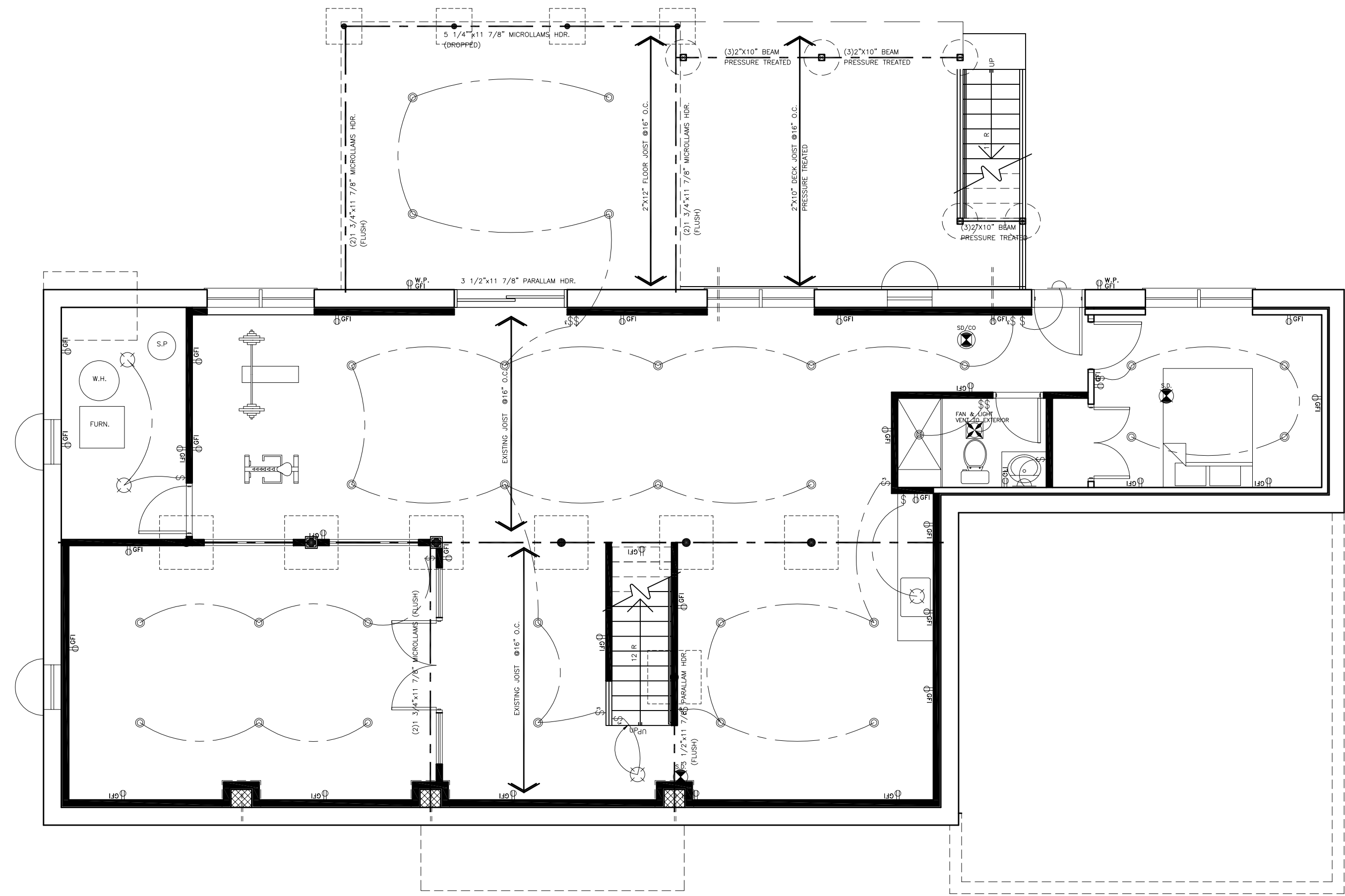
RAFAEL DANON, R.A.,
REGISTERED ARCHITECT

SHEET TITLE:
REAR AND LEFT ELEVATIONS

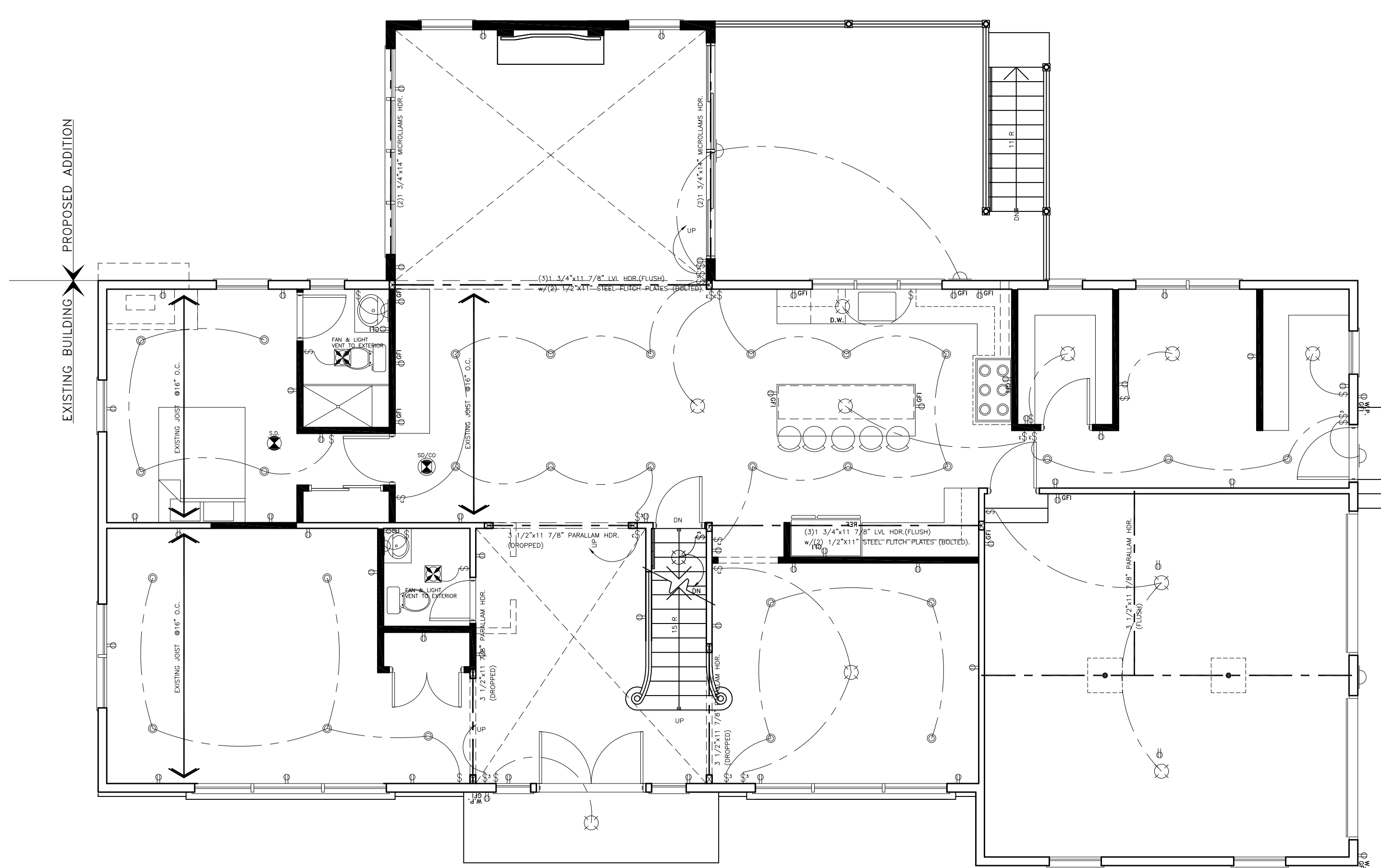
SCALE: AS NOTED
DRAWN BY: M.A.
REVIEWED BY: R.D.

A05

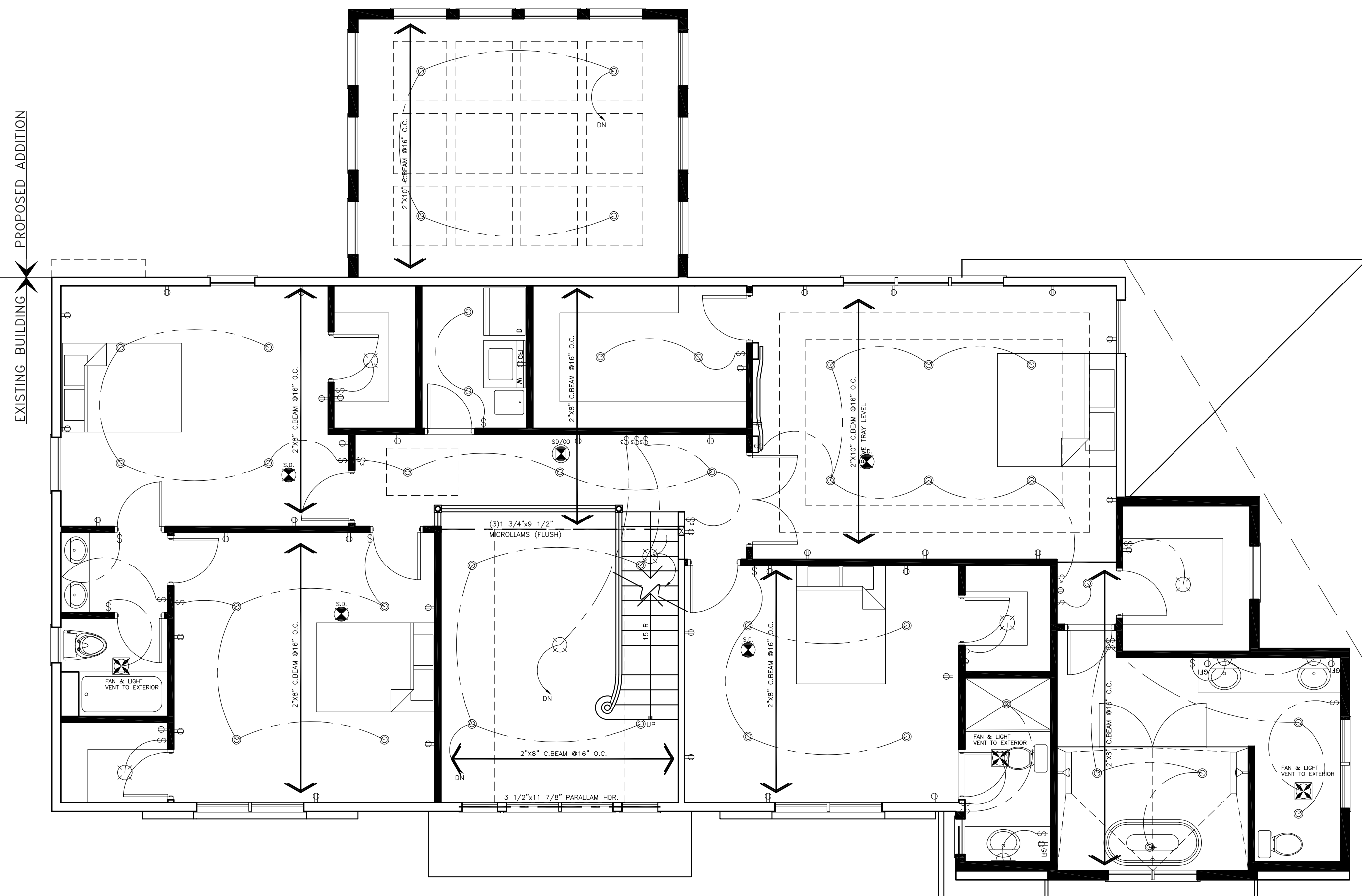
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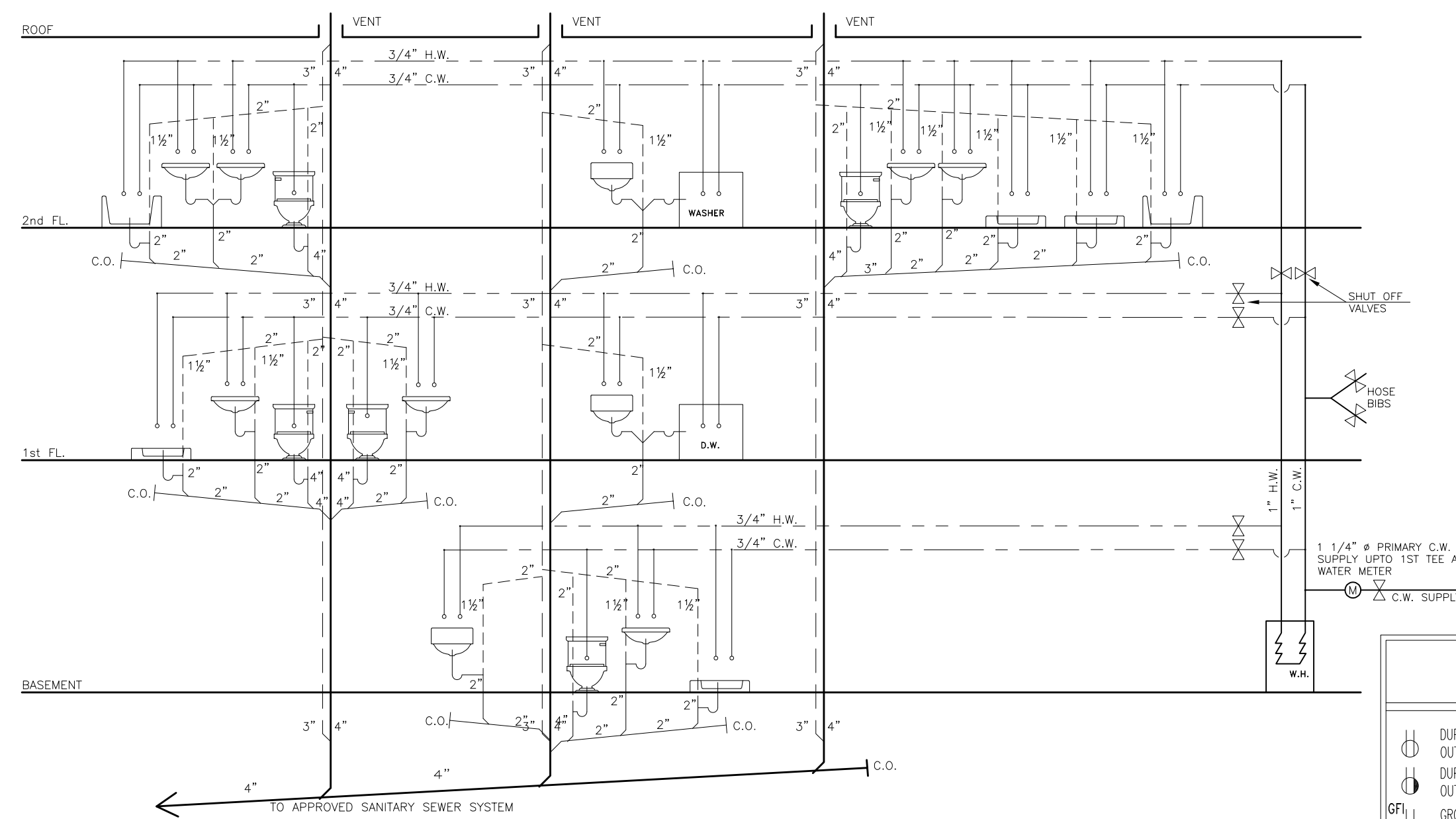
1 BASEMENT PLAN
A-5 ELECTRIC
SCALE 3/16"=1'-0"



2 FIRST FLOOR PLAN
A-5 ELECTRIC
SCALE 3/16"=1'-0"



3 SECOND FLOOR PLAN
A-5 ELECTRIC
SCALE 3/16"=1'-0"



4 PLUMBING RISER
A-5 SCALE 3/16"=1'-0"

ELECTRIC NOTES:
FINAL LAYOUT TO BE DETERMINED BY OWNERS/BUYERS.
ALL INTERIOR WIRING TO BE COPPER ROMEX CABLE NM WITH GROUNDING.
ALL WIRING TO BE IN ACCORDANCE WITH N.E.C.
NUMBER OF OUTLETS ON BRANCH CIRCUITS ARE - 10 ON 15 A, 13 ON 20 A, EXCEPT APPLIANCE CIRCUITS ARE -5 ON 20 A.
WIRING TO BE SIZED AS PER TABLE 310.16
ALL RECEPTACLES TO BE GROUNDED TYPE, BASE RECEPTACLES TO BE 1'-2" FROM FLOOR.
ALL WATER HEATERS TO BE CONNECTED IN ACCORDANCE WITH THE CONNECTING UTILITY COMPANY'S REQUIREMENTS.
SMOKE DETECTOR ALARMS AS INDICATED ON CONSTRUCTION DOCUMENTS SHALL BE AN AC PRIMARY SOURCE, CLOSED CIRCUIT TYPE AND SHALL BE ELECTRICALLY OR MECHANICALLY SUPERVISED. ALL SMOKE DETECTOR ALARMS SHALL BE INTERCONNECTED. SMOKE DETECTOR ALARMS SHALL BE PROVIDED IN EVERY BEDROOM AND AS LOCATED ON THE CONSTRUCTION DRAWINGS.
FANS IN ROOMS THAT LACK NATURAL VENTILATION SHALL BE SIZED TO EXPEL A MINIMUM OF 2 CFM PER SQUARE FOOT OF ROOM. THE FAN IN A TOILET ROOM SHALL BE SIZED TO EXPEL AT LEAST 70 CFM.
THE BASE UNIT POWER DENSITY (UPD) IN WATTS/SQ.FT. FOR ANY ROOM OR SPACE SHALL NOT EXCEED THE VALUES BELOW.

INDIVIDUAL ROOM/SPACE	UPD WATTS/SQ.FT.
BATH	4.3
BEDROOM	1.4
FINISHED LIVING SPACES	2.2
CORRIDOR	0.5
KITCHEN	4.0
LAUNDRY	1.0
UNFINISHED LIVING SPACES	0.5

THE ELECTRICAL PLAN IS BASED ON MINIMUM CODE REQUIREMENTS. THE ARCHITECT MAY BE CONSULTED FOR ADDITIONAL ELECTRICAL DESIGNS AS A SEPARATE COMMISSION.

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TEL: 973-723-0039
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RAFAEL DANON, R.A.,
REGISTERED ARCHITECT

SHEET TITLE:
ELECTRICAL LAYOUT

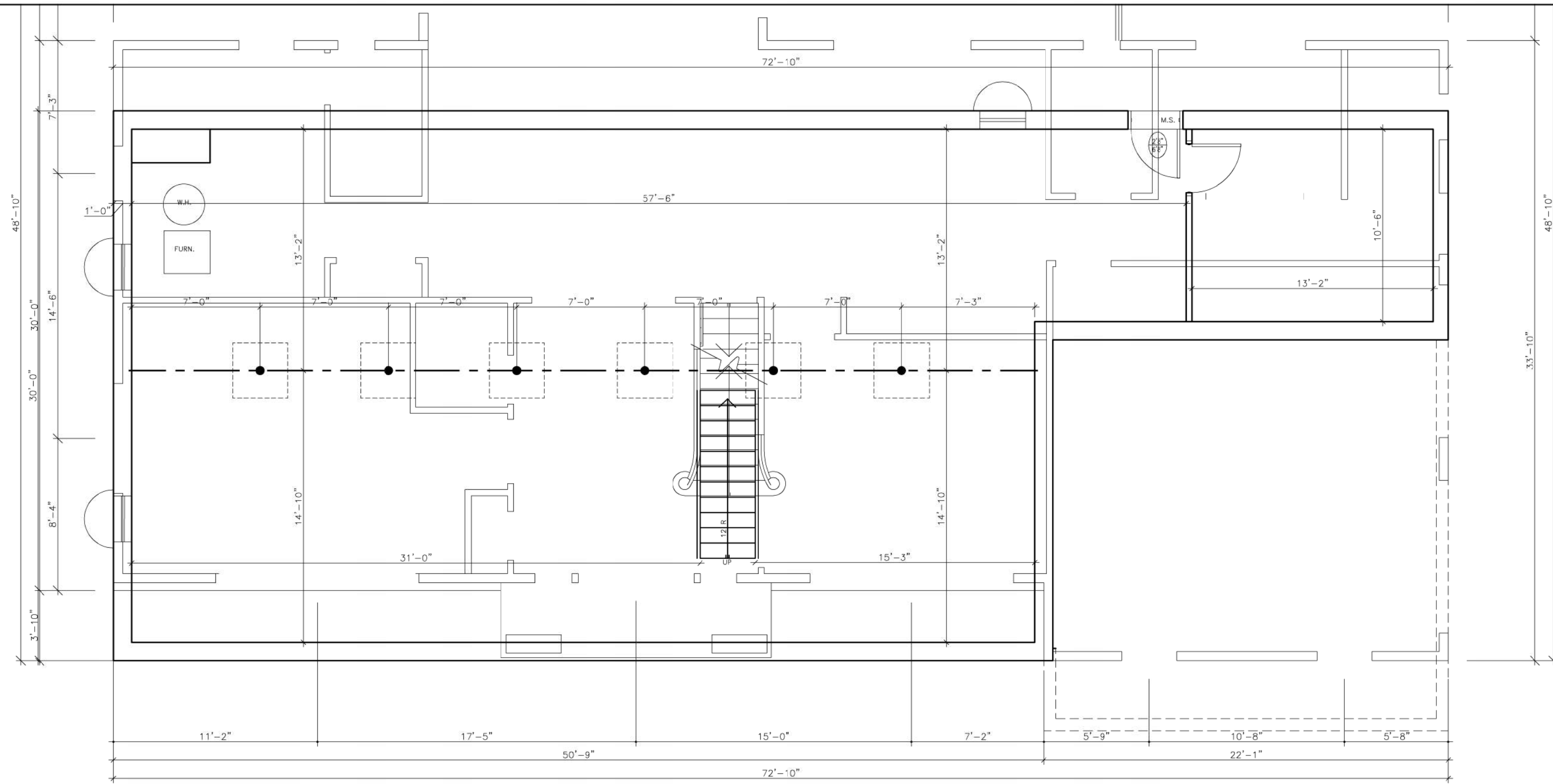
SCALE: AS NOTED
DRAWN BY: M.A.
REVIEWED BY: R.D.

A05

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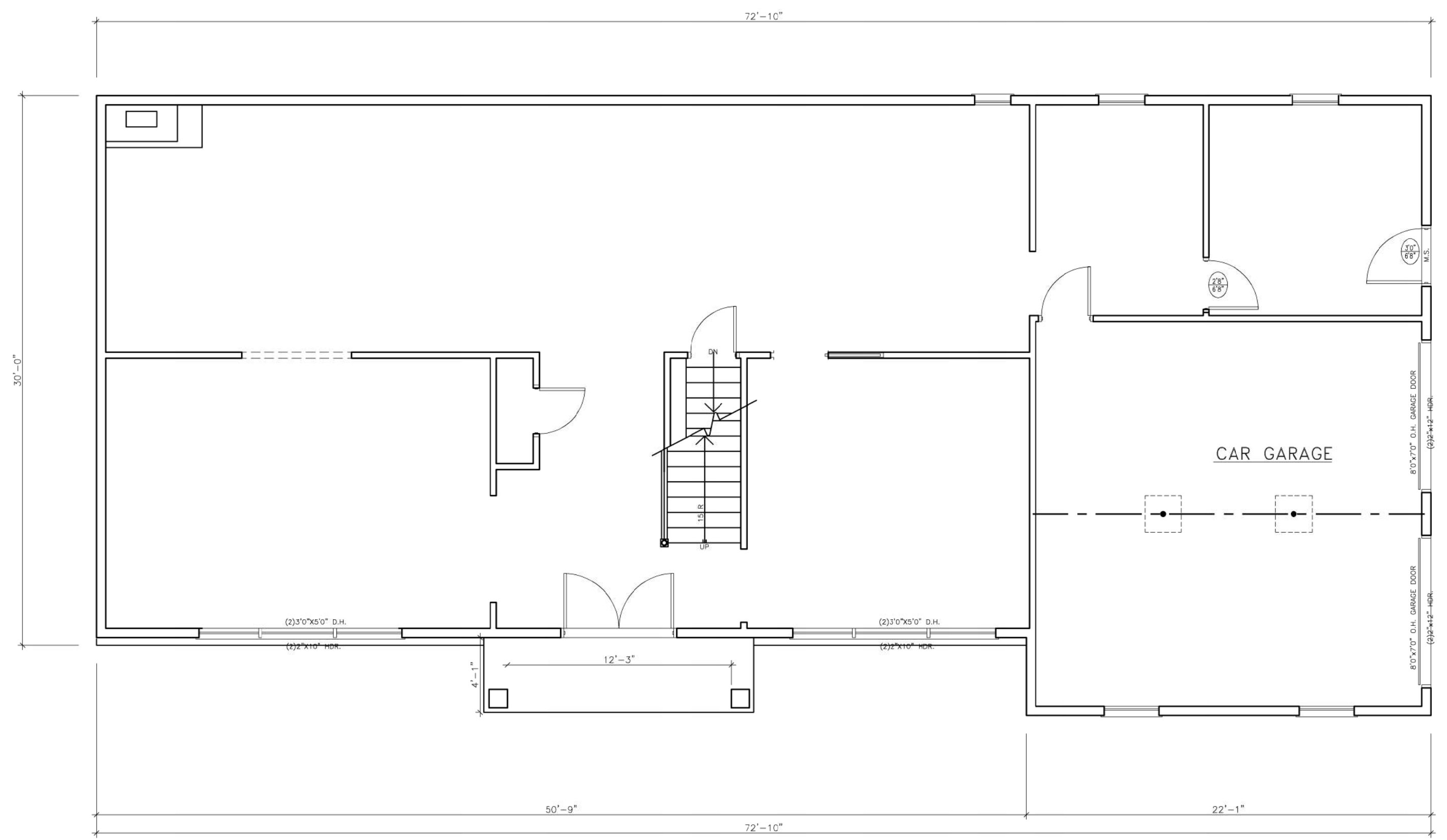
GRAPHIC SYMBOLS (ELECTRICAL)

⊕	DUPLEX WALL MOUNTED CONVENIENCE OUTLET	⬆	EXIT SIGN
⊕	DUPLEX WALL MOUNTED CONVENIENCE OUTLET SPLIT WIRED TO SWITCH	⬆	EXIT SIGN WITH EMERGENCY LIGHT
⊕	GROUND FAULT INTERRUPTER OUTLET	⬆	TWO (2) BULB BATTERY BACK UP EMERGENCY LIGHT
⊕	WATER PROOF EXTERIOR GROUND FAULT INTERRUPTER OUTLET	⬆	TELEVISION OUTLET
⊕	FLUSH FLOOR RECEPTACLE WITH WATERPROOF THREADED BRASS CAP	⊙	HELEOGENIC COVE LIGHT
⊕	FLUSH MOUNTED JUNCTION BOX WITH 6'-0" PIGTAIL	⬆	UNDER CABINET FLOURESCENT STRIP FIXTURE
⊕	TELEPHONE OUTLET WITH CONDUIT AND PULL WIRE TO TELEPHONE PANEL	⬆	POWER LINE
⊕	DATA JUNCTION BOX	⬆	ELECTRIC PANEL
⊕	RECESSED INCANDESCENT LIGHT	⊕	SMOKE DETECTOR
⊕	WALL MOUNTED LIGHT FIXTURE OR SCONCE	⊕	CARBON MONOXIDE DETECTOR
⊕	2'x4' RECESSED FLOURESCENT FIXTURE	⊕	COMBINATION SMOKE & CARBON MONOXIDE DETECTOR
⊕	2'x2' RECESSED FLOURESCENT FIXTURE	⊕	CEILING FAN
⊕	RECESSED FLOURESCENT FIXTURE w/INTEGRAL EMERGENCY LIGHT	⊕	CEILING FAN AND LIGHT
⊕	CIRCUIT INDICATOR	⊕	ELECTRIC TIMER
		⊕	SINGLE POLE SWITCH
		⊕	THREE-WAY SWITCH



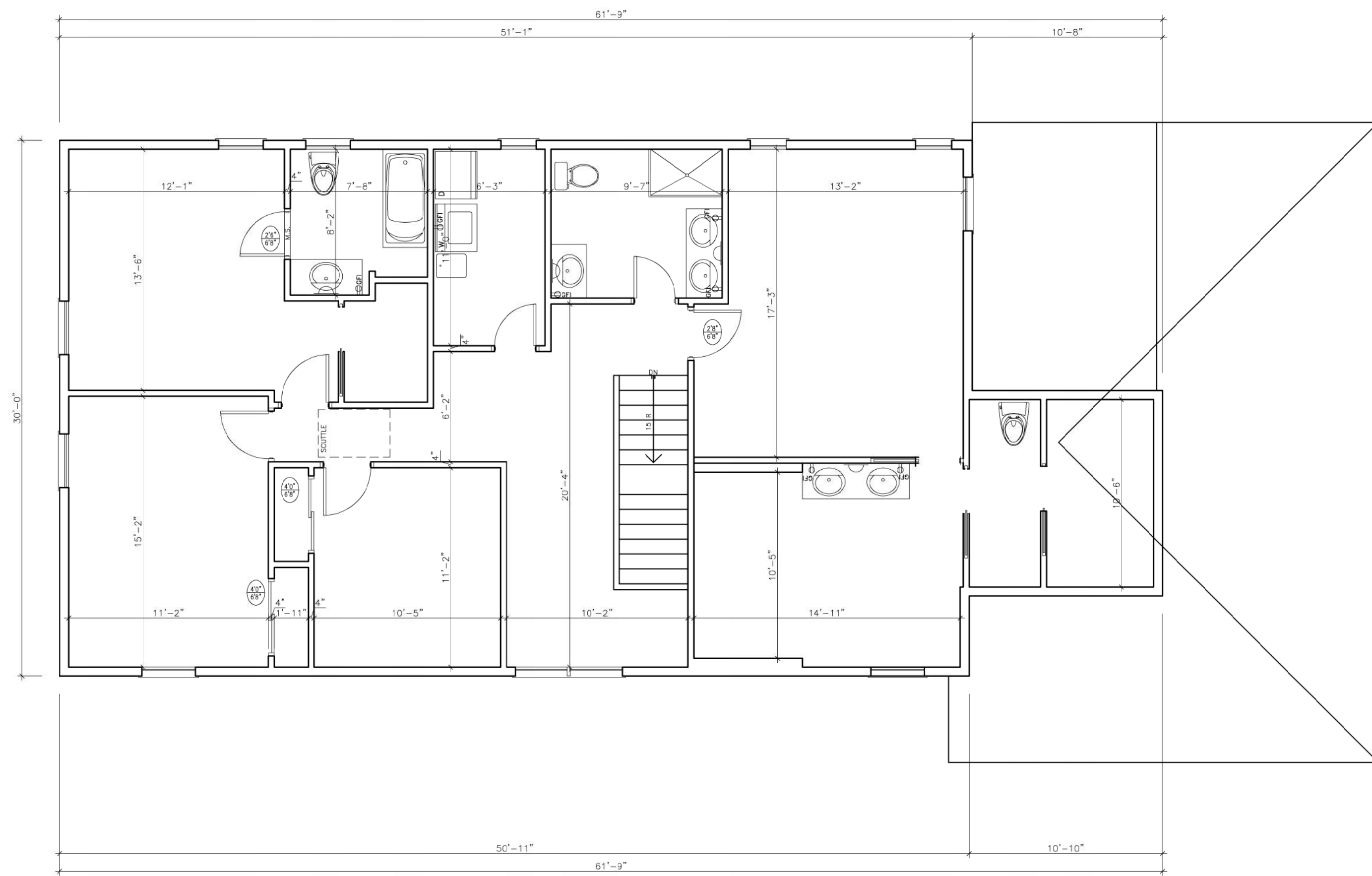
1 BASEMENT/FOUNDATION PLAN
A-3

SCALE 1/4"=1'-0" AREA - 1785.00 S.F. VOLUME - 16065.00 C.F.



1 FIRST FLOOR PLAN
A-4

SCALE 1/4"=1'-0" AREA - 1782.00 S.F. VOLUME - 16038.00 C.F.



1 SECOND FLOOR PLAN
A-5

SCALE 1/4"=1'-0" AREA - 1654.00 S.F. VOLUME - 14256.00 C.F.

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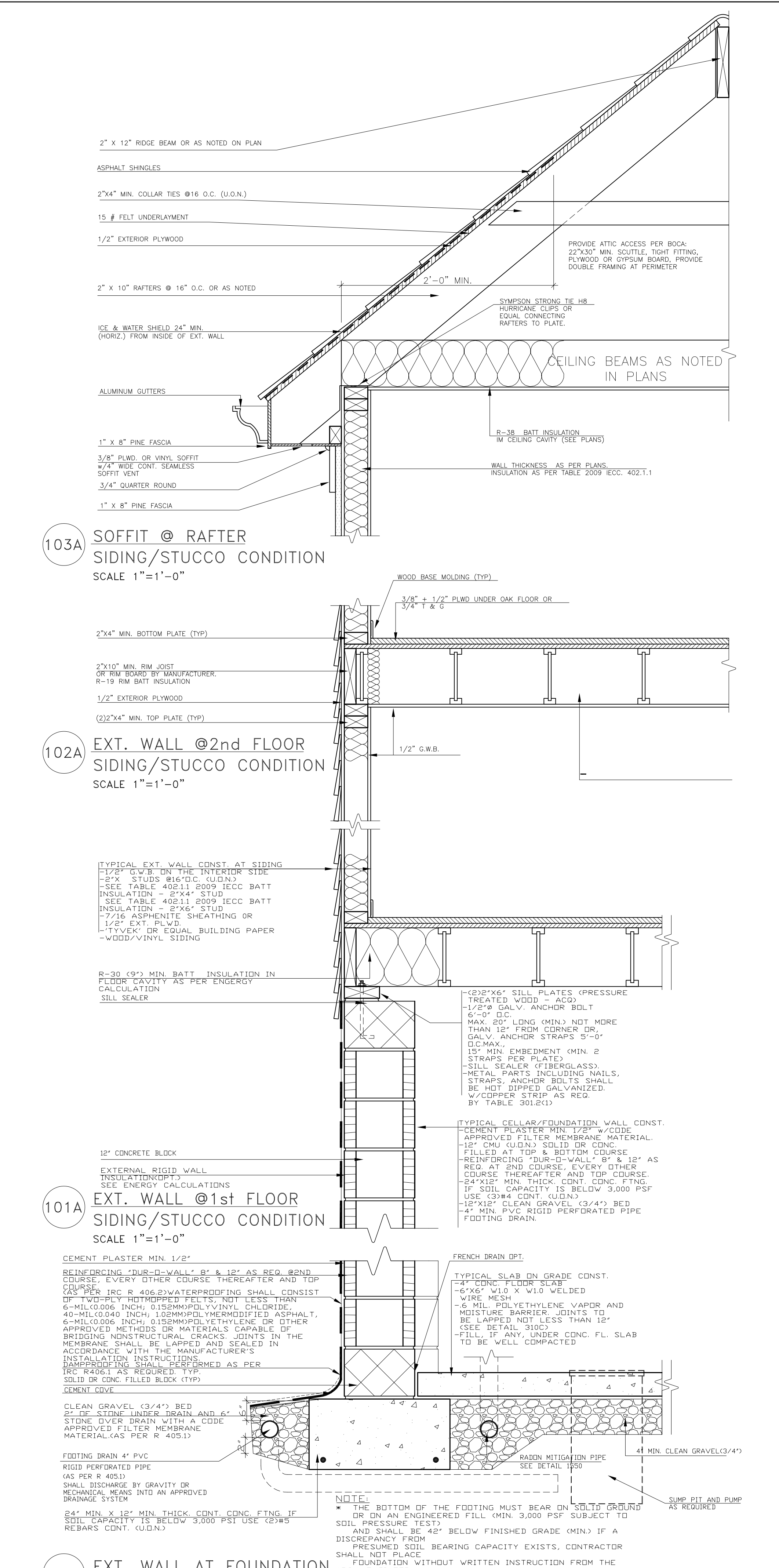
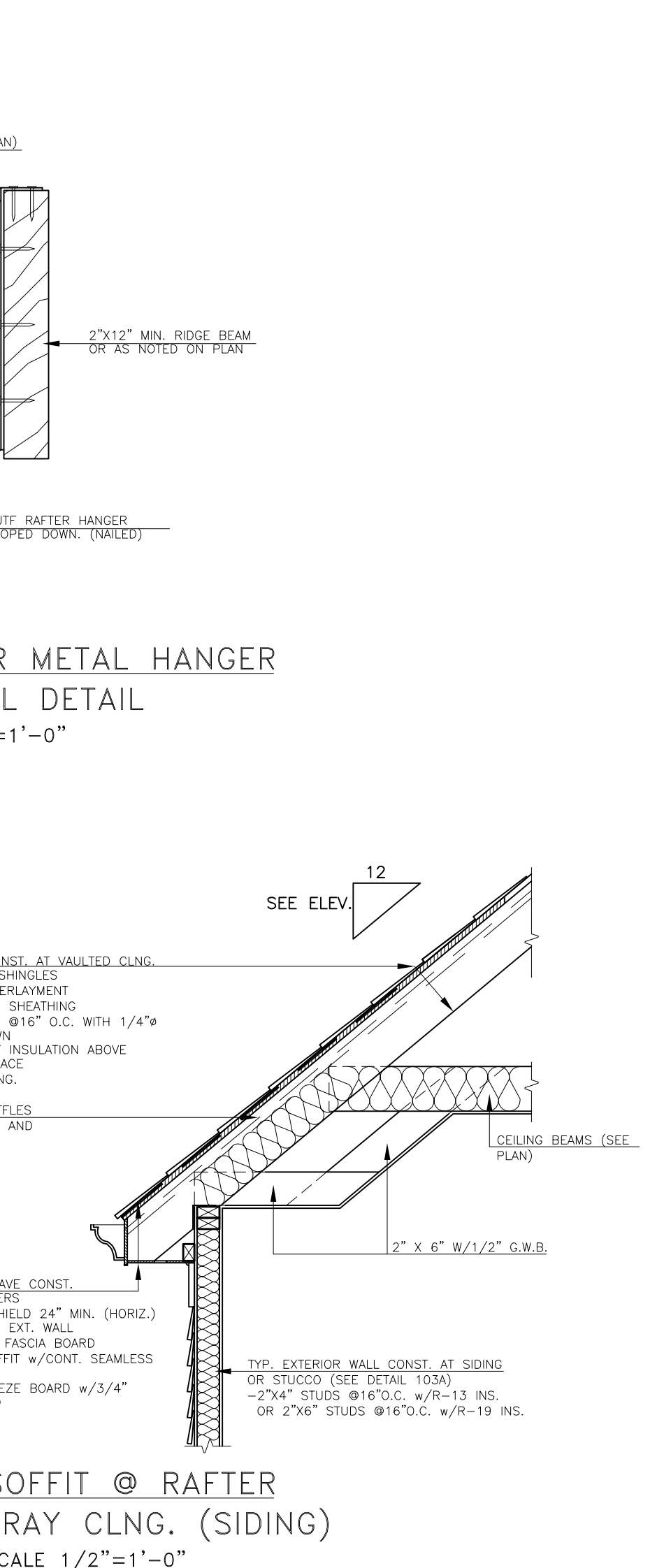
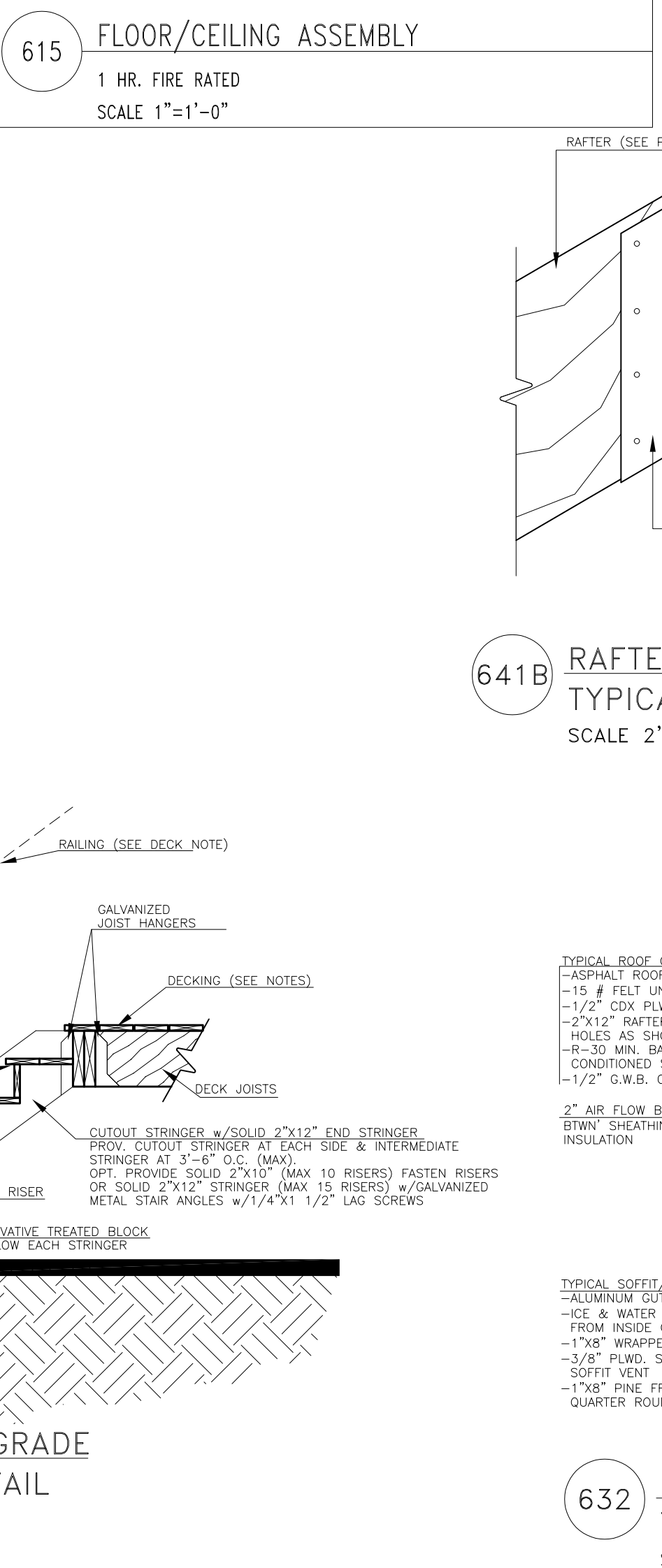
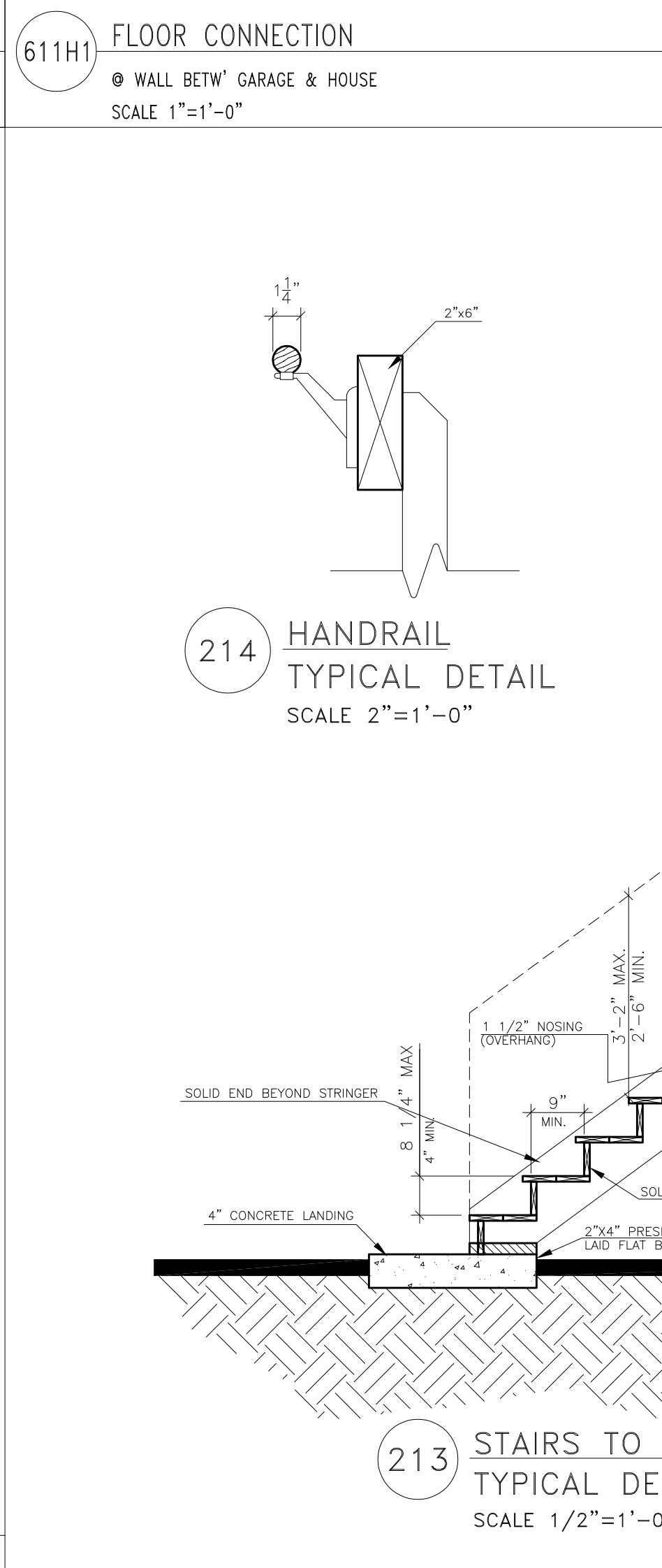
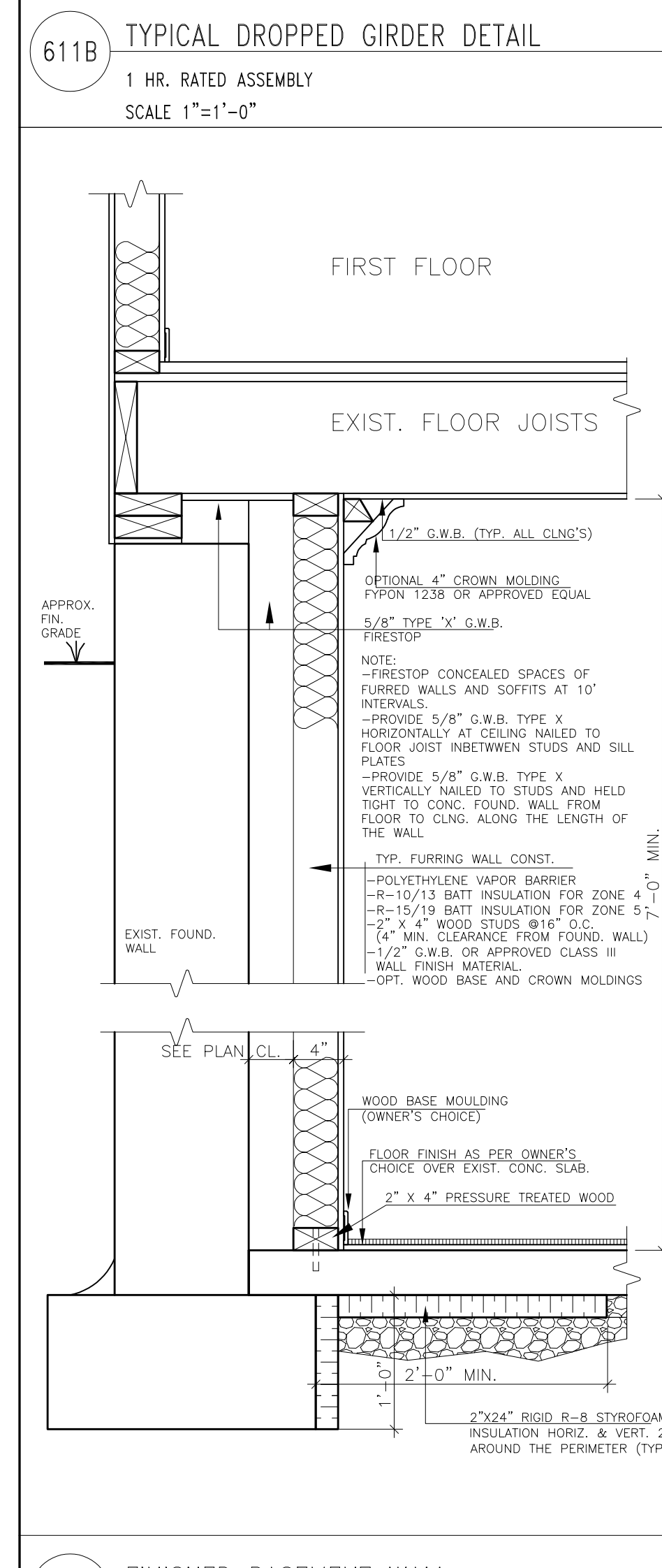
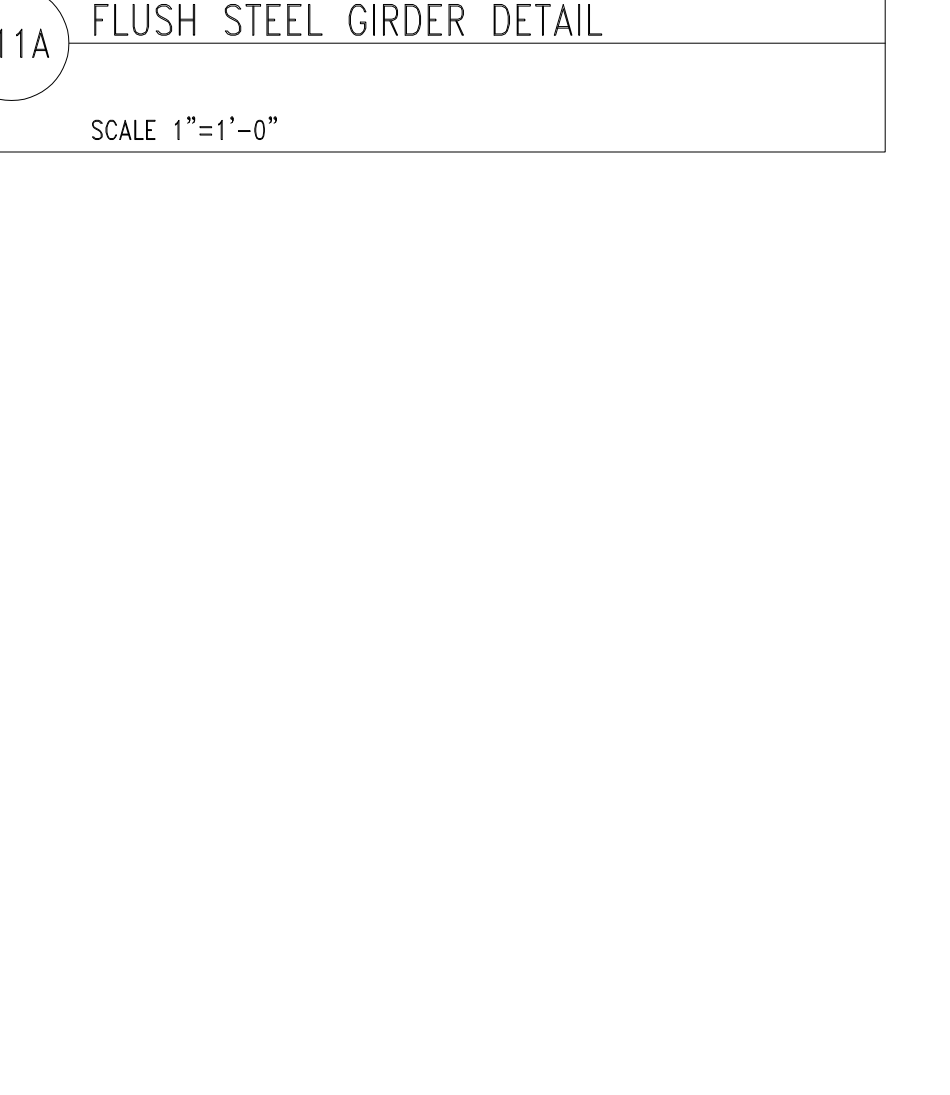
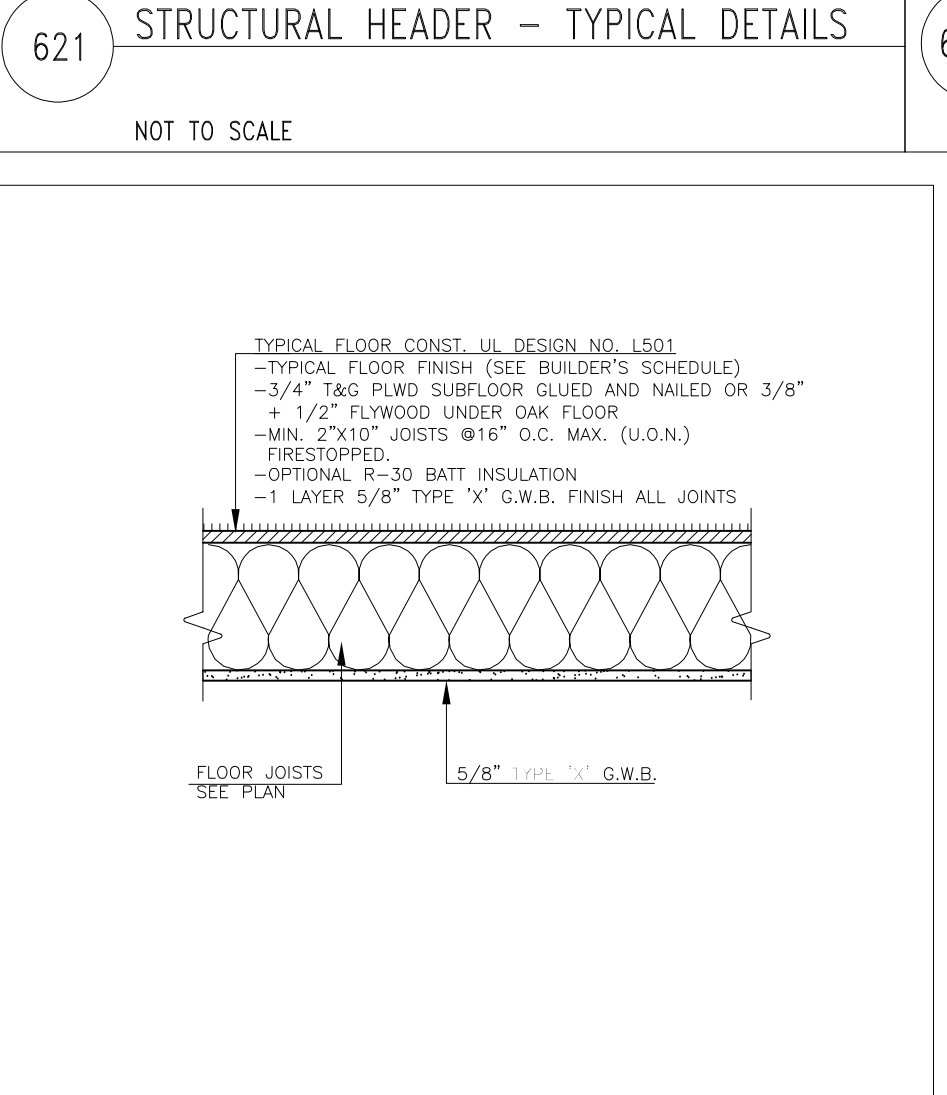
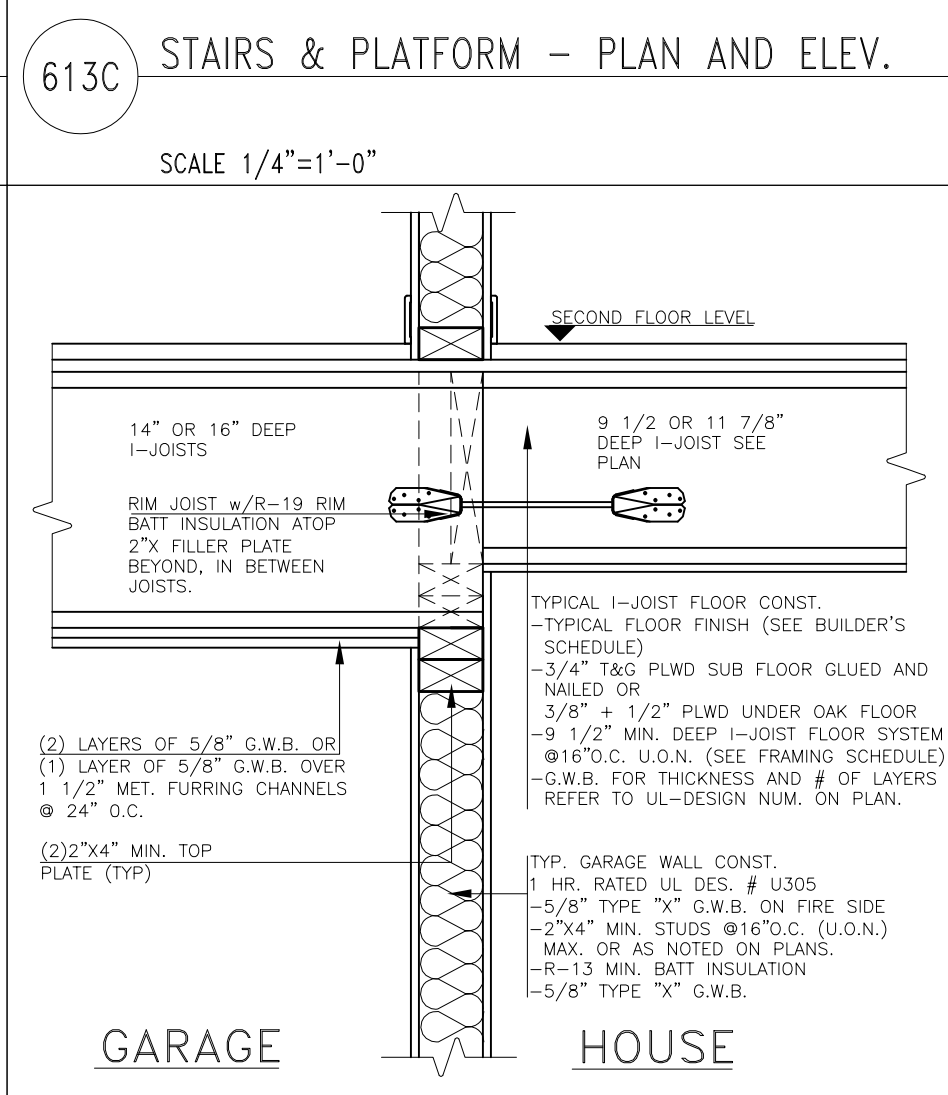
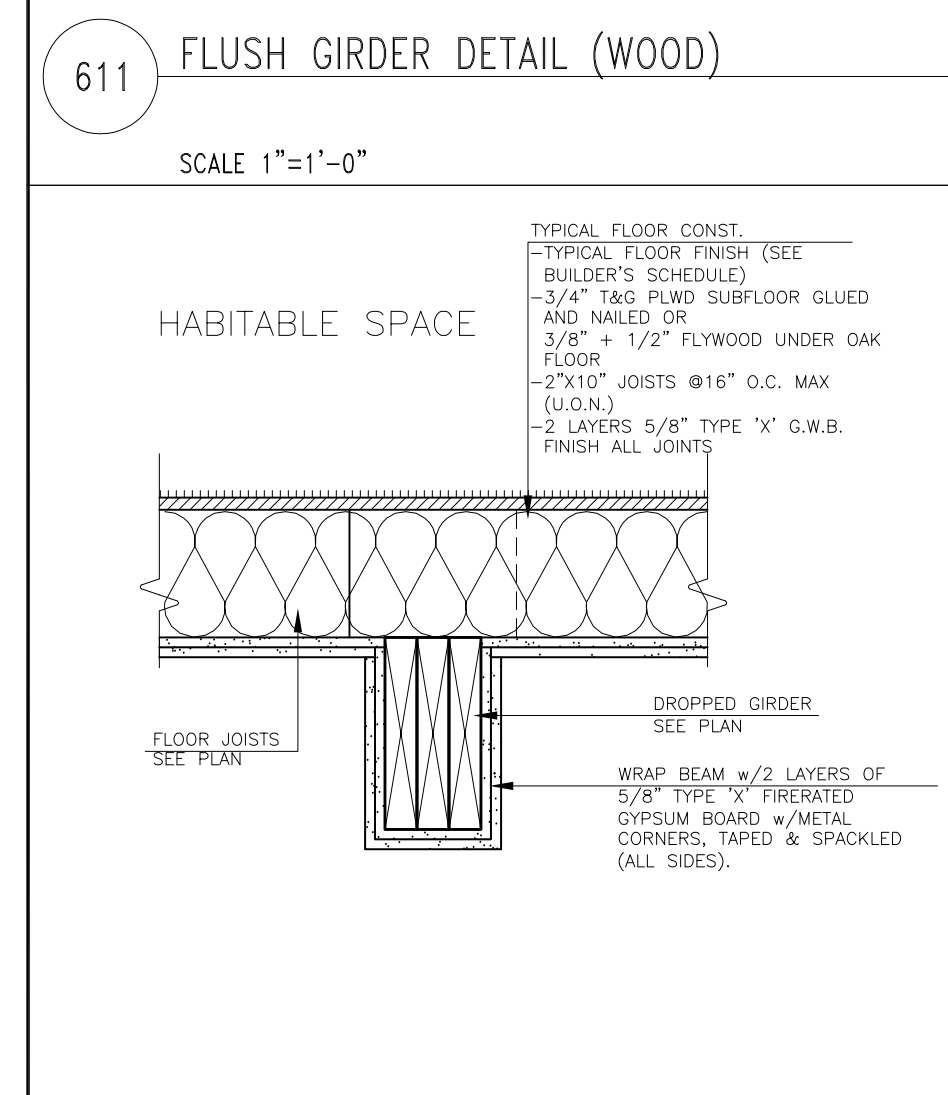
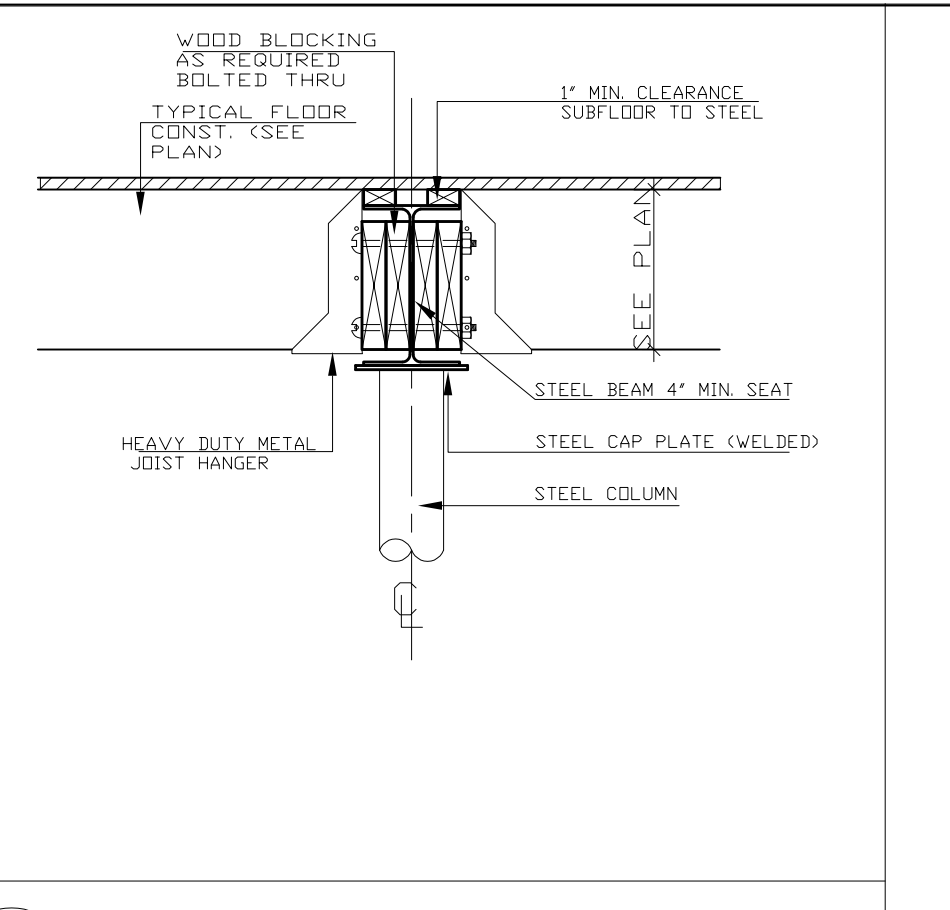
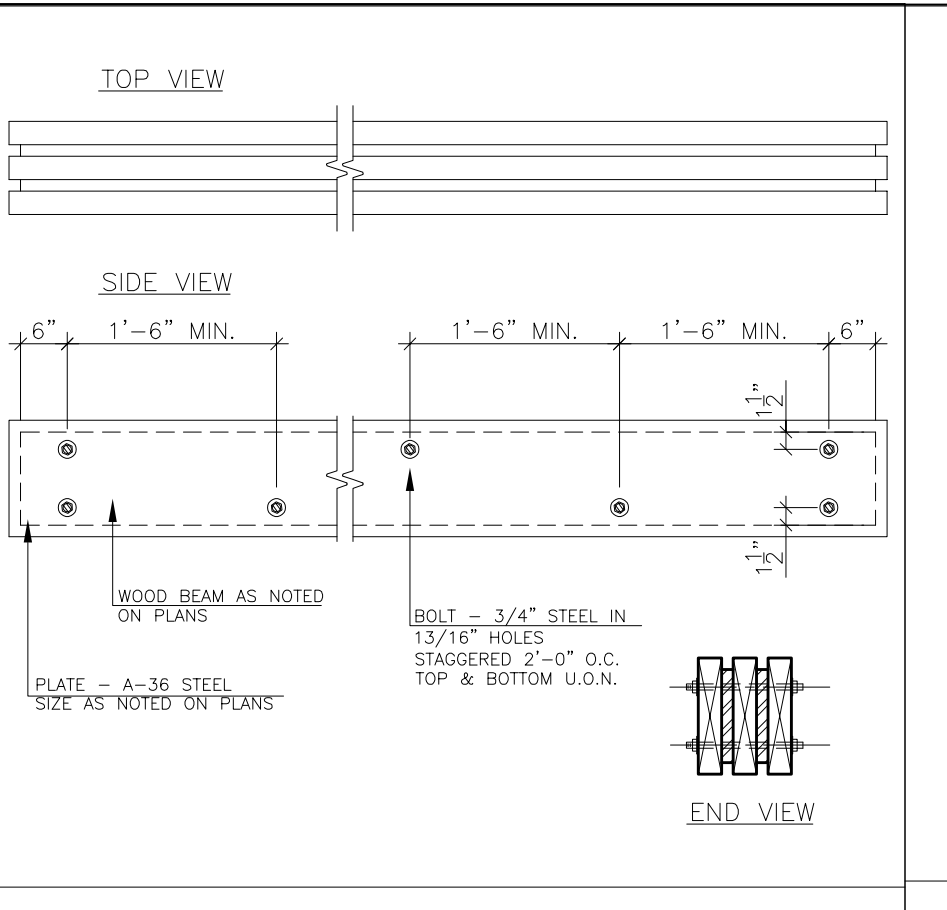
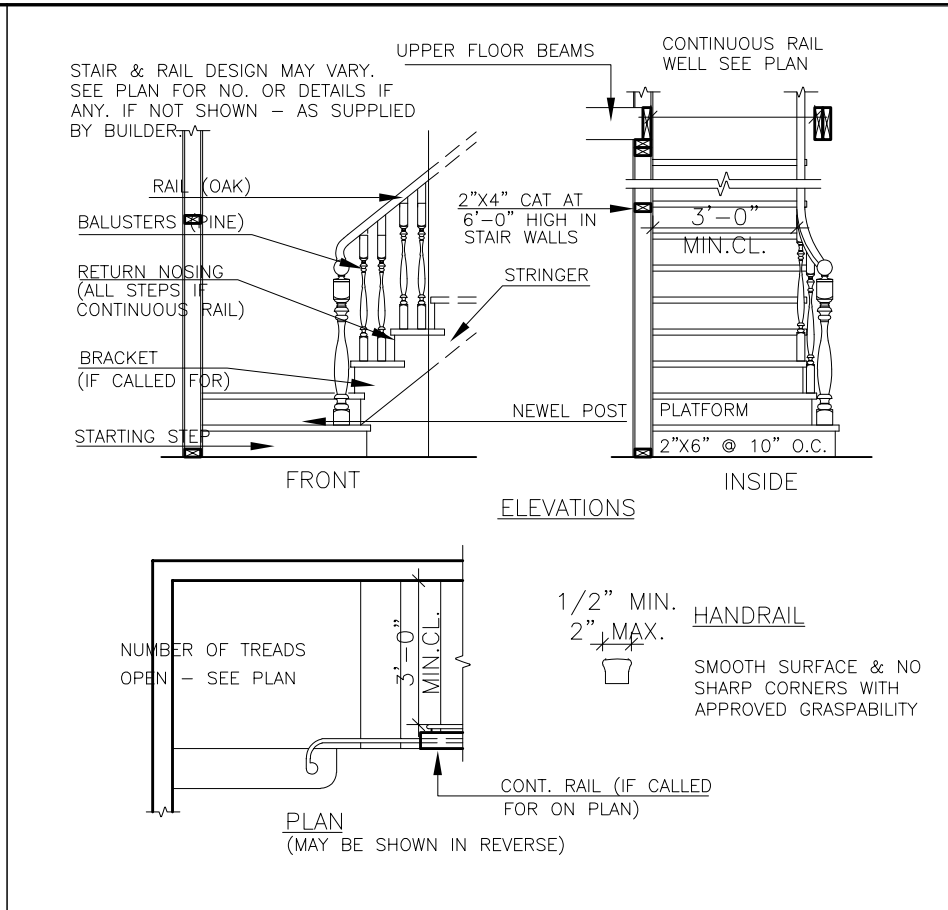
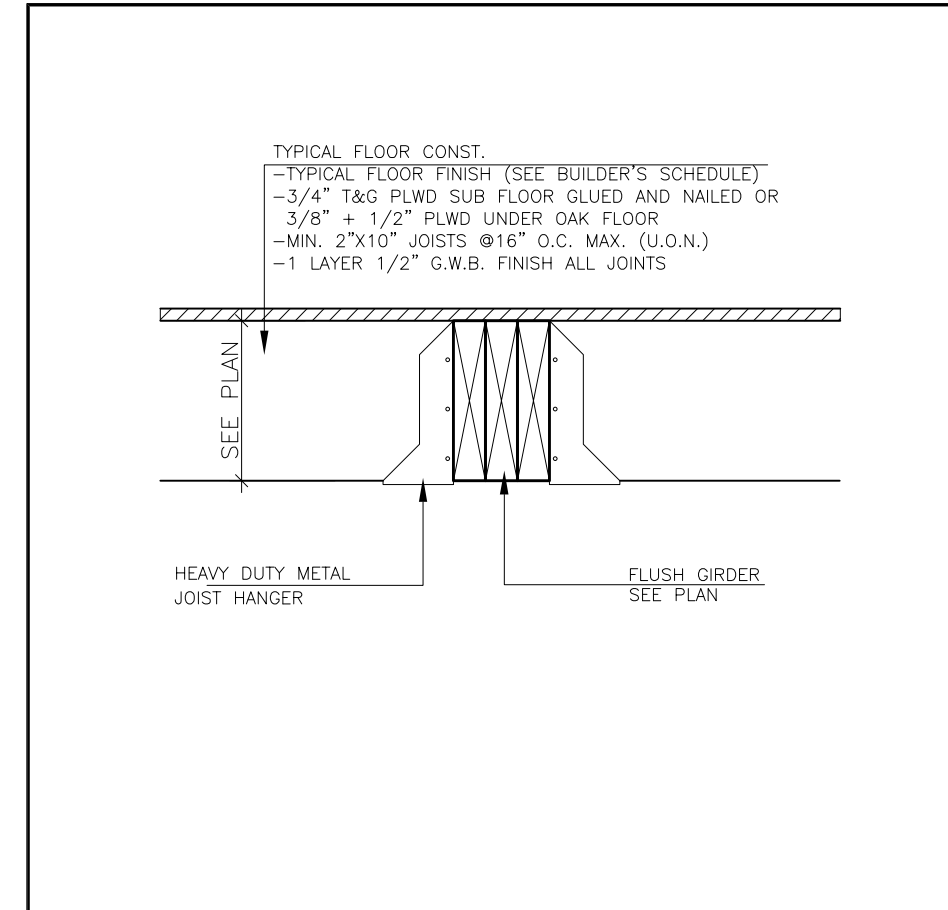
RAFAEL DANON, R.A.,
REGISTERED ARCHITECT

SHEET TITLE:
EXISTING PLANS

SCALE: AS NOTED
DRAWN BY: M.A.
REVIEWED BY: R.D.

A07

JOB #:
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ISSUANCE:		
#	DATE:	FOR:
1	05/30/23	PERMIT
2	06/15/23	AS PER ZONING COMMENTS
3	07/18/23	AS PER CLIENT REQUEST

PROJECT NAME:
65 TROY ROAD
BLOCK 13, LOT 18,
SHORT HILLS TOWNSHIP,
ESSEX, NJ, 07078

OWNER:

DANON GROUP
RAFAEL DANON RA,
1218 WARRENS WAY,
WANAGUE, NJ, 07465
TEL: 201-681-7777
TEL: 973-723-0039
DANONGROUP@AOL.COM

RAFAEL DANON, R.A.,
REGISTERED ARCHITECT

SHEET TITLE:
DETAILS

SCALE: AS NOTED
DRAWN BY: M.A
REVIEWED BY: R.D.

D1

JOB #:
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